

POLK CITY
PLANNING COMMISSION MEETING

July 10, 2023
6:00 P.M.

Polk City Government Center
123 Broadway Blvd. SE

AGENDA

- | | |
|--|-------------------------------|
| CALL TO ORDER | Chairman |
| PLEDGE OF ALLEGIANCE | Chairman |
| ROLL CALL | City Manager Patricia Jackson |
| ESTABLISHMENT OF A QUORUM | |
| APPROVAL OF MEETING MINUTES – May 1, 2023 | |

A. New Business

1. Public Hearing

Land Development Code Amendment: City-initiated text amendments, to the Polk City Land Development Code to add procedures and standards for outdoor display of merchandise.

2. Public Hearing

Site Plan Review: Site Plan Application for Polk City Self Storage Expansion located at 119 Bronson Trail (Polk County Parcel Number: 252633-297600-001030) to add a 6,400 square foot office building, 13,000 square foot storage building, with required parking facilities.

ADJOURNMENT

PLEASE NOTE: PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE CITY COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED DURING THIS MEETING, HE OR SHE WILL NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, A PERSON WITH DISABILITIES NEEDING ANY SPECIAL ACCOMMODATIONS TO PARTICIPATE IN CITY MEETINGS SHOULD CONTACT THE OFFICE OF THE CITY CLERK, POLK CITY 123 BROADWAY BLVD SE, POLK CITY, FLORIDA 33868 TELEPHONE (863) 984-1375, AT LEAST 48HRS IN ADVANCE.

PLANNING COMMISSION MEETING MINUTES

May 1, 2023

Chairman Gorski called the meeting to order at 6:00 pm.

Those present recited the Pledge of Allegiance led by Chairman Gorski.

Present: Eugene Gorski, Robert Baker, David Prins

Absent: William Fienga, Edward Hanks, Antonio Thomas

Quorum Established

APPROVAL OF MINUTES

Motion by Vice Chairman Baker to approve the March 6, 2023 Planning Commission Meeting Minutes as presented; this motion was seconded by Member Prins. **Approved by Voice Vote 3/0.**

PUBLIC COMMENTS - None

ORDER OF BUSINESS

Site Plan Review

Stefanie von Pelaske-Bush (CFRPC) provided a Powerpoint and discussion regarding the Future Land Use Map Amendment not in the Green Swamp Area of Critical State Concern: **Preliminary Site Plan – Unlimited Jeeps, Inc:** The applicant, Adam Knowles, is requesting preliminary site plan approval of 10,728 square feet of retail use situated on 1.19 acres in Polk City, located on 315 Broadway Boulevard Southeast. The current office space will be used for retail purposes.

Chairman Gorski opened the Public Hearing. No one spoke for or against this item. Chairman Gorski closed the Public Hearing.

Vice Chairman Baker reiterated that this establishment would be for retail only.

The applicant Adam Knowles provided a thorough explanation for exactly what would be taking place at this site. This will be a sales site only. Mr. Knowles addressed any questions or concerns from the Planning Commission Members or the Public.

Kathy Delp, Development Services Director stated that nothing has changed at this site since the original plans with Stella and Company.

Motion by Member Prins to approve forwarding the Preliminary Site Plan for Unlimited Jeeps, Inc. to the City Commission with a recommendation for approval; this motion was seconded by Vice Chairman Baker.

Motion carried 3/0 by Voice Vote.

FDOT Community Visioning Workshop

Ms. Delp discussed the FDOT Community Vision Workshop on Tuesday, May 23, 5pm-7pm, and stressed the importance for the Planning Commission Members to attend.

Chair and Vice Chairman Selection

Vice Chairman Baker nominated Gene Gorski as Chairman for another one-year term. Motion carried.

Member Prins nominated Robert Baker as Vice Chairman for another one-year term. Motion carried.

American Planning Association

Vice Chairman Baker briefly discussed a document that he had from the American Planning Association (APA). Wanted other members to see what the APA was pushing with regards to single-family accessibility.

After hearing the information, Mrs. von Paleske-Bush and Mrs. Delp thanked Mr. Baker for the information; however, the APA does not set policy for Polk City; it is governed by Polk County and the State of Florida.

ADJOURNMENT- 6:18 pm

Patricia Jackson, City Manager/Clerk

Gene Gorski, Chairman



**POLK CITY PLANNING COMMISSION
TEXT AMENDMENT TO POLK CITY LAND DEVELOPMENT CODE
CONCERNING OUTDOOR DISPLAY**

OVERVIEW

July 10, 2023

TO: Polk City Planning Commission

FROM: Central Florida Regional Planning Council

SUBJECT: **Text Amendments to the Land Development Code:**
City-initiated text amendment to Section 2.05.02 of the Polk City Land Development Code to add procedures and standards for outdoor display.

AGENDA DATE:

Planning Commission Meeting: July 10, 2023, at 6:00 PM

City Commission Meeting (First Reading): July 17, 2023, at 7:00 PM

City Commission Meeting (Second Reading): August 21, 2023, at 7:00 PM

PLANNING COMMISSION MOTION OPTIONS:

1. Move to forward the proposed text amendments to the City Commission with a recommendation of **approval**.
2. Move to forward the proposed text amendments to the City Commission with a recommendation of **approval with changes**.
3. Move to forward the proposed text amendments to the City Commission with a recommendation of **denial**.

SUMMARY OF PROPOSED TEXT AMENDMENTS:

The proposed amendments are provided to permit outdoor display of merchandise while protecting the health and safety of the community. Several of the requirements are proposed to ensure outdoor displays will not block access, will not cause issues with traffic, and will be brought in during times of inclement weather. The requirements provide details as to how the display area may be located on the site. This is in deference to other sections of the Code that provide specific outdoor display requirements, including uses that do not permit outdoor displays.

PROPOSED TEXT AMENDMENTS:

The proposed amendments to the Land Development Code (LDC) are provided below. Text that is underlined is text to be added and text that is shown as ~~strikeout~~ is to be removed.

Article 2 Regulations for Specific Districts

Section 2.03.00 General Regulations for Commercial/Industrial Zoning Districts

2.03.05 Outdoor Display of Merchandise

Polk City requires a permit for outdoor display of merchandise. Unless specifically addressed in another location, the following requirements pertain to outdoor display of merchandise.

(A) General Requirements:

- (1) Is limited to items normally sold or produced in the respective business.
- (2) Must be brought inside when the business is closed or in the event of high winds, severe weather watches or warnings, and/or upon issuance of a hurricane evacuation notice for Polk County.
- (3) Must be accessory to a business in an enclosed building. Sales must be conducted by employees of the principal business.
- (4) Cannot be used for storage purposes.
- (5) Such areas shall be accurately delineated on applicable site plans for permit.

(B) Location Requirements:

- (1) Outdoor display shall be limited to 10 percent of the floor area of the primary structure.
- (2) Display areas shall be limited to the length of façade on which it is

located within.

- (3) Display areas shall not extend more than 5 feet from the wall of the principal structure.
- (4) Display areas shall not exceed 5 feet in height.
- (5) Any material located within 3 feet of any building entry shall not exceed 3.5 feet in height.
- (6) Display areas must be adjacent to the principal building(s) of the business.
- (7) Display areas shall not block entrances or exits or restrict pedestrian movement and when the display area is in place, there shall be a minimum of five (5) feet clear sidewalk or walkway width for pedestrian travel and otherwise shall comply with the Americans with Disabilities Act (ADA) requirements.
- (8) Items shall be located on a hard, durable surface.
- (9) Display areas cannot be located in public right-of-way.
- (10) Display areas shall not be placed to obstruct vehicular traffic sight.

(C) Safety Requirements:

- (1) Outdoor display shall not impair pedestrian use of the building.
- (2) Outdoor display shall not be located in or block fire lanes, emergency access ways, maneuvering aisle, driving aisles, driveways, unloading/loading areas, or a parking space necessary to meet the minimum parking requirements of the use(s) on the property.



OUTDOOR DISPLAY AREA PERMIT APPLICATION

The following information is required for submission of an application for outdoor display areas in commercial or Industrial Zoning districts for property in the City limits of Polk City, Florida. **Please print or type the required information below. Attach a copy of the aerial photograph, location map, and sketch.**

Application type (check applicable box):

<input type="checkbox"/> New application	<input type="checkbox"/> Annual Permit Renewal
Please describe any proposed changes to a previously approved temporary outdoor display area:	

Business name: _____

Address: _____ Hours of operation: _____

	Applicant:	Business Owner (if different from Applicant/Property owner):	Property Owner (if different from applicant/business owner):
Name			
Address			
Email			
Phone			

Hold-Harmless Agreement: By signing this application, the Applicant agrees to the following upon the issuance of a permit:

"To the fullest extent permitted by law the Applicant agrees to defend, pay on behalf of, indemnify, and hold harmless the City of Polk City, its elected and appointed officials, employees, agents and volunteers, and others working on behalf of the City of Polk City against any and all claims, demands, suits, or loss, including all costs connected therewith, and for any damages which may be asserted, claimed, or recovered against or from the City of Polk City, by reason of personal injury, including bodily injury or death and/or property damage, including loss of use thereof, for all actions of the Applicant."

As the duly authorized individual, I hereby apply for approval of this temporary outdoor service permit, affirm the above information, and agree that I will comply with the City's Outdoor Display of merchandise requirements and rules and all other City requirements, ordinances, and other laws which apply to this temporary permit.

Applicant's Signature Date

Business Owner Signature Date

Property Owner Date

Submission checklist:

- Signed Application
- Temporary outdoor display area sketch plan



Permit Application Process:

All outdoor display areas in commercial and industrial zoning districts must comply with the regulations set for in Section 2.03.05 of the Land Development Code (provided at the end of this application). This application must be accompanied by the following information:

1. **Sketch Plan:** The sketch plan, a scalable top-view drawing of the temporary outdoor display area, must including the following:
 - a. The location and dimensions of the temporary outdoor display area in relation to the business it will serve, the entrance to the business, adjacent properties (include addresses) and their building entrances, as well the location of existing landscaping, street trees, catch basins, fire hydrants, and other utilities.
 - b. The location and dimensions of all street furniture and furnishings to be used in the display area, including, but not limited to rolling rack, tables, chairs, trash receptacles, benches, sun shading and temporary shelters.
 - c. The location of outdoor lighting fixtures, if proposed, as well as the location of wiring and a description of how the wiring will be secured to prevent trip or electrical hazards.
 - d. Photographs, drawings or manufacturers brochures fully describing the appearance of all proposed merchandise display furnishings and fixtures for the temporary outdoor display area.
-



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This permit may be withdrawn at any time the applicant is found in violation of the requirements set forth above.

Approved: _____

Denied: _____

Polk City Building Department

Date



**POLK CITY PLANNING COMMISSION
SITE PLAN REVIEW
STAFF REPORT
July 10, 2023**

TO: POLK CITY PLANNING COMMISSION

FROM: CENTRAL FLORIDA REGIONAL PLANNING COUNCIL

SUBJECT: SITE PLAN REVIEW:
119 Bronson Trail

AGENDA & HEARING DATES:
Planning Commission Meeting: July 10, 2023, at 6:00 PM

OWNER OF PROPERTY/APPLICANT: AGAP Polk City, LLC (Storage King)

Attachments

- Overview Report
- Aerial Photo Map
- Future Land Use Map
- Zoning Map
- Site Plan
- Application

OVERVIEW REPORT

PROPERTY OVERVIEW:

Property Owner	AGAP Polk City, LLC
Applicant	Storage King AGAP Polk City, LLC
Subject Parcels	252633-297600-001030
Acreage	16.07 acres
Existing Future Land Use	Industrial and Commercial
Existing Zoning	M-1, Light Industrial and C-2, General Commercial

REQUEST:

The applicant, Storage King AGAP Polk City, LLC, is requesting an amendment to a site plan for the storage facility located at 119 Bronson Trail. The site includes one parcel that is 16.09 acres. **The applicant is requesting to amend the site plan to expand the existing self storage facility by adding a 6,400 square foot office building and 13,000 square foot storage building, with required parking facilities.**

STANDARDS FOR REVIEWING SITE PLANS:

The purpose of the site plan is to provide sufficient information regarding a proposed development to enable the City to evaluate the proposed development as it relates to the Comprehensive Plan and the Unified Land Development Code.

Any modification, variation or adjustment of a stamped approved Site Development Plan shall require approval of a Site Development Plan amendment.

The Development Director shall determine whether a proposed Site Development Plan modification is a major modification or a minor modification. The determination shall be based on, but not limited to the following: any substantial change, including increase in density, change in permitted uses, change in stormwater runoff characteristics, change in traffic patterns and trip generation, or other similar changes shall be considered a major modification; any proposed minor changes in configuration or similar changes shall be considered a minor modification.

The Planning Commission shall review and evaluate the site plan with specific regard to the City's Comprehensive Plan, applicable City codes, and the advisory recommendations of City staff. An approval of the preliminary site plan shall be deemed an expression of approval of the site layout.

Approval of the site plan authorizes the developer to prepare construction plans. Following approval of the construction plans by the Consulting City Engineer, the developer may proceed with construction.

FINDINGS OF FACT:

- The subject site is currently developed.

- The current request is to expand the existing self-storage facility by adding a 6,400 square foot office building and 13,000 square foot storage building, with required parking facilities.
- The subject site is located within the Polk City Exemption Area and is therefore exempt from the regulations pertaining to the Green Swamp Area of Critical State Concern.
- The property has a Future Land Use (FLU) of Industrial and Commercial (located within the Polk City Exemption Area).
- The C-2, General Commercial zoning allows mini-warehouse with a Site Plan Approval and mini-warehouse with outdoor storage with a Special Exception.
- The M-1, Light Industrial zoning allows mini-warehouse with a Site Plan Approval and mini-warehouse with outdoor storage with a Site Plan Approval.
- The property is 1.19 acres in size.
- The site plan is consistent with the requirements of the City's Land Development Code.
- The site plan has been drawn consistent with the required number of parking spaces.

SITE DEVELOPMENT PLAN REQUIREMENTS:

The following information is required in an acceptable form so as to accompany the Site Development Plan:

1. If a commercial or industrial site, the name of the business.
 - **Storage King is the business name.**
2. The property owner's name, address and telephone number; and the designated project applicant or representative if other than property owner.
 - **Complete. Information provided in the application.**
3. The engineer's name, address, telephone number and registration number.
 - **Pennoni Associates, Inc.**

4. Future Land Use Classification from the Comprehensive Plan's Future Land Use Map; and Zoning district assigned to the property that is the subject of the site plan and to the properties contiguous thereto.

- **Complete. This information has been provided on the application.**

Future Land Use: Industrial and Commercial

Zoning: M-1, Light Industrial

C-2, General Commercial

5. The legal description of the property used by the County's Property Appraiser's Office.

- **Not provided**

6. A copy of the plat map page the property is located on, with the lot or parcel identified clearly. This map is available from the Polk County Property Appraiser's Office in Bartow, or from the City, for \$1.00.

Site Development Plans shall be drawn to a minimum scale of one-inch equals 100 feet on an overall sheet size not to exceed 22 by 36 inches. When more than one sheet is required, an index sheet of the same size shall be included showing the entire parcel with individual sheet numbers referenced thereon.

- **Provided.**

7. North arrow, scale, and date prepared.

- **Provided.**

8. Identification of watercourses, wetlands, and significant stands of mature trees and understory vegetation that may provide wildlife habitats or other environmentally unique areas.

- **Complete. There are no waterbodies on the subject property.**

9. Number of units proposed, if any, and resulting net density.

- **Complete. There are no proposed residential units as part of the development.**

10. Floor area of non-residential uses.

- **Complete. The Floor Area Ratio is consistent with the requirements of the C-2 and M-1 zoning districts.**

11. Number of parking lots and spaces required and proposed.

- **Complete. The parking lot and spaces are consistent with the requirements of the Polk City Land Development Code.**

12. Location of all public and private streets, driveways and utility easements, within and adjacent to the site.
 - **Complete. This information is provided.**

13. The footprint of all proposed buildings and structures on the site, including setbacks.
 - **Complete. The property has existing structures onsite. The plans show the demolition to be completed and the proposed new structures.**

14. Required landscape and buffer yards.
 - **The landscape plan shows landscaping to be installed for each proposed addition.**

15. Sign locations.
 - **Not provided. There is signage on-site.**

16. Phase lines if the development is constructed in phases.
 - **Complete. No phases.**

17. Provisions for on-site stormwater drainage and detention related to the proposed development.
 - **Complete. The site is developed.**

18. The delineation of all wetlands and flood-prone areas as delineated by the National Wetlands Inventory and the Flood Insurance Rate Maps published by the Federal Emergency Management Agency (FEMA) and by the City of Polk City Comprehensive Plan.
 - **Complete. This site is not located in wetlands or a floodplain.**

19. Delineation of all environmentally sensitive areas as determined by any appropriate agency and the City of Polk City Comprehensive Plan.
 - **Complete. There are no environmentally sensitive areas indicated.**

20. All existing and proposed utilities.
 - **Information provided through the stormwater management report and the site plan construction documents.**

21. Any other requirement as determined by the Development Director or the Building Official, such as topographic lines, surveys, etc.
 - **Complete.**

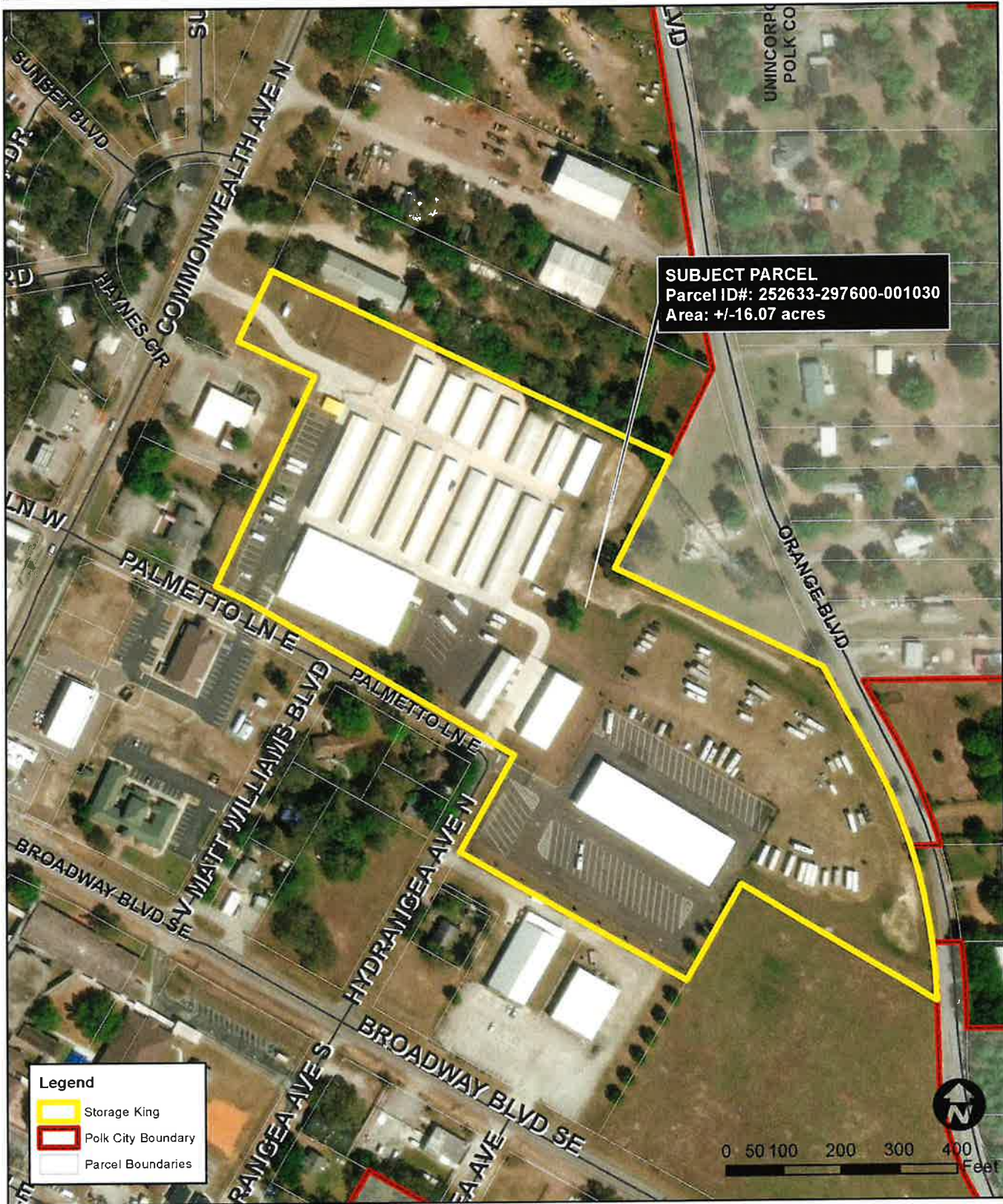
STAFF COMMENTS:

The proposed Site Plan amendment is consistent with the Polk City Land Development Code.

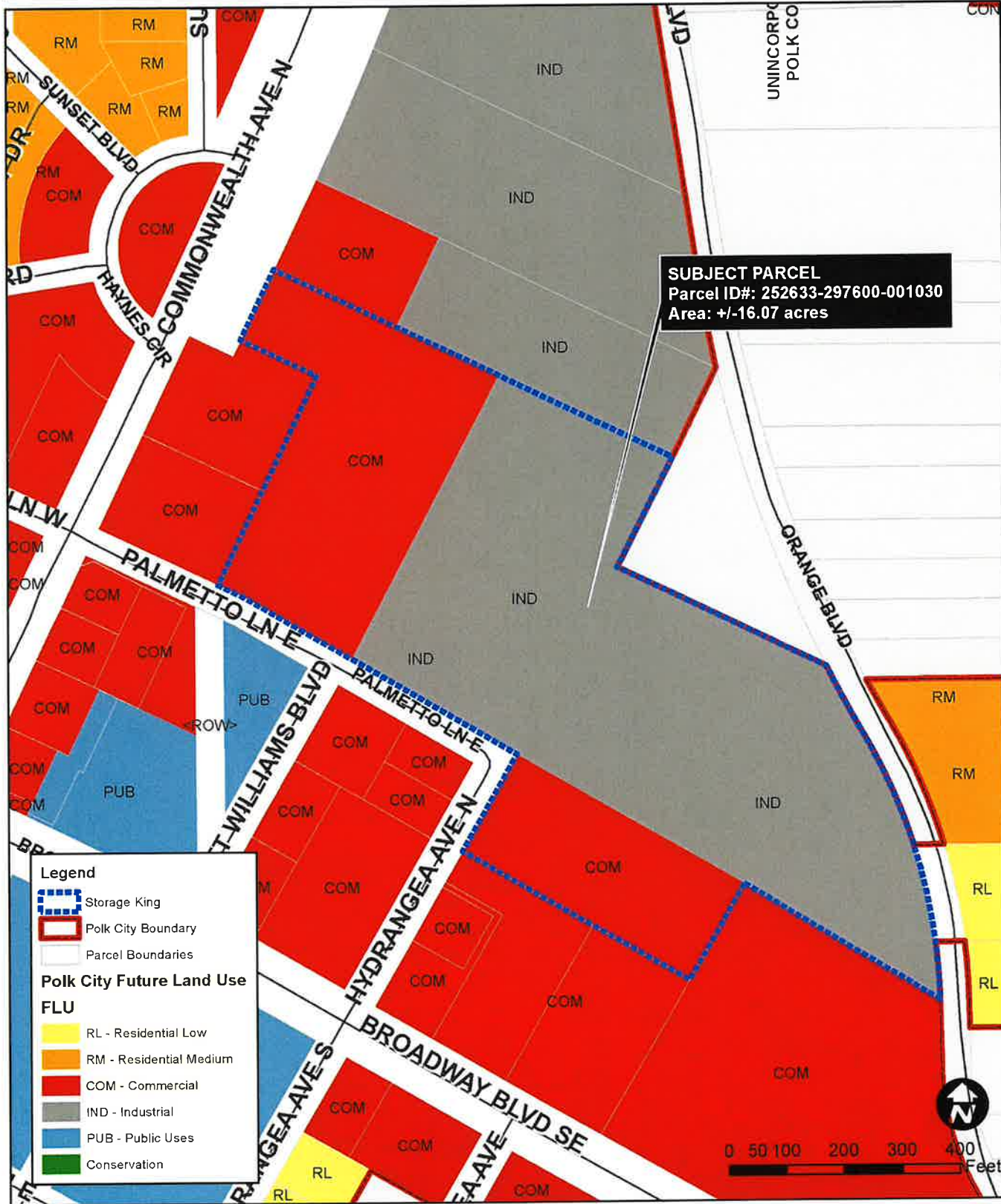
PLANNING COMMISSION MOTION OPTIONS:

1. I move the Planning Commission **Approve** the proposed Site Plan amendment.
2. I move the Planning Commission **Approve with changes** to the Site Plan amendment.

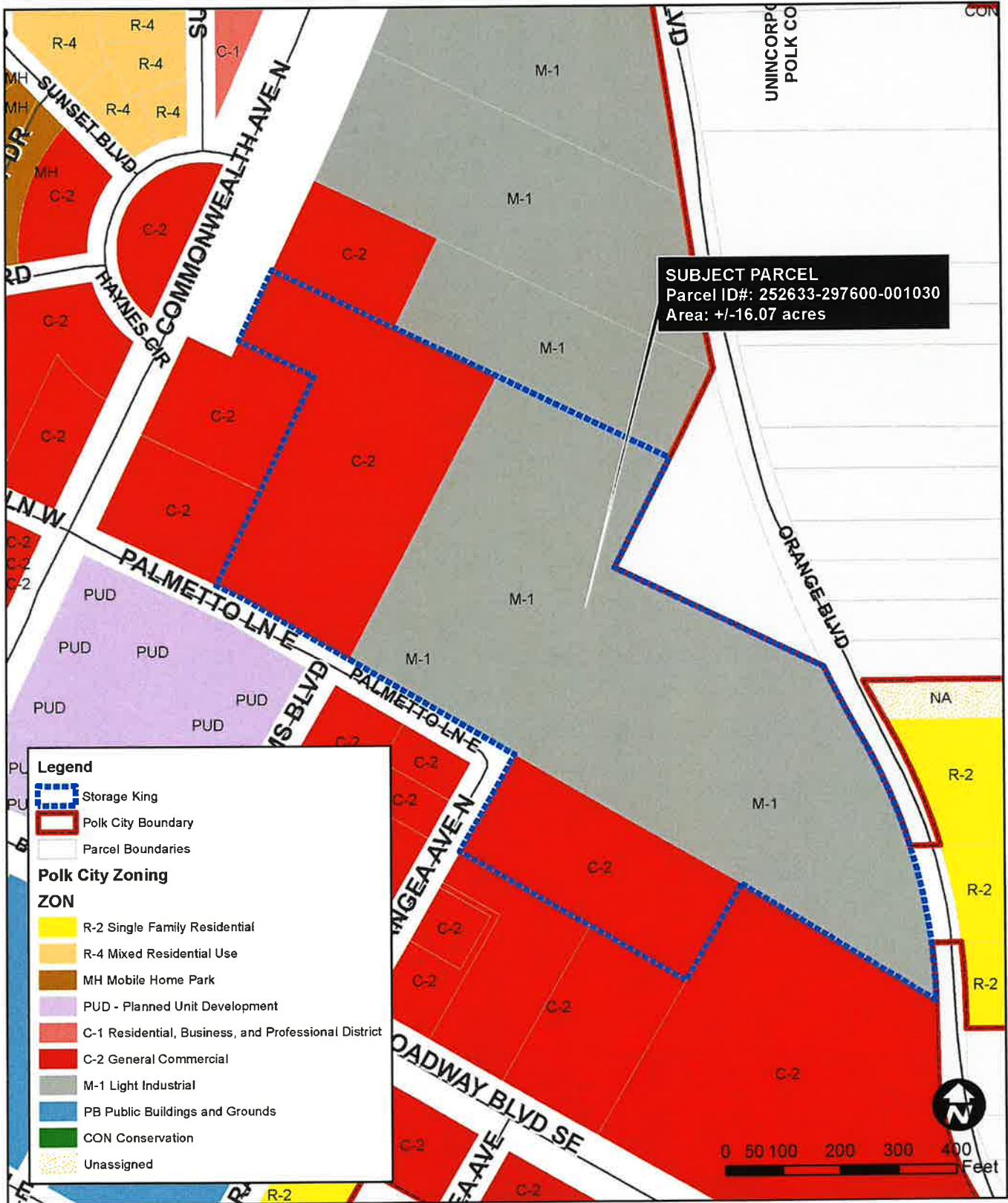
POLK CITY AERIAL PHOTO MAP

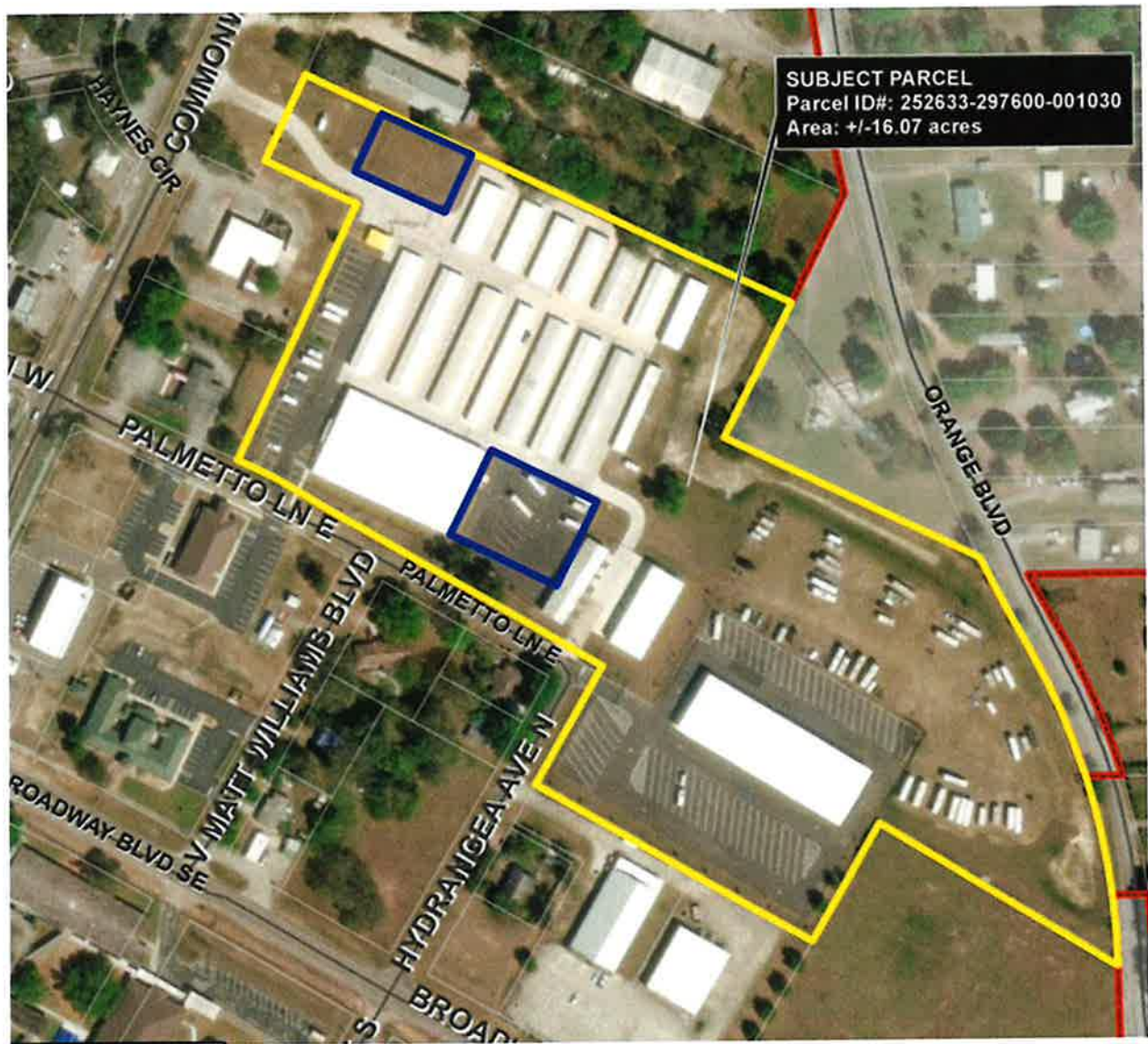


POLK CITY FUTURE LAND USE MAP



POLK CITY ZONING MAP





SITE PLAN APPLICATION

This application is for: (Check all that apply)

- Conceptual Consultation (Recommended but optional, Informal Discussion between the Development Director, planning staff and the Developer or Developer's Representatives)
- Preliminary Review Phase (Recommended but optional Pre-Application, Public Hearing before the Commission)
- Development Review (Mandatory)

Project/Business Name Storage King - Polk City / AGAP Polk City, LLC

Street Address of Project 119 Bronson Trl

Parcel ID Number(s) 252633297600001030

Property Owner(s) AGAP Polk City, LLC

Mailing Address 150 E 52nd Street, Suite 32002
New York, New York 10022

Telephone (212) 813-0141 Fax _____

Email bcohen@andoverprop.com

Applicant Brian Cohen

Mailing Address 150 E 52nd Street, Suite 32002
New York, New York 10022

Telephone (212) 813-0141 Fax _____

Email bcohen@andoverprop.com

Agent (Engineer, Surveyor, etc.) Jason Sheridan, P.E.

Mailing Address 5755 Rio Vista Drive
Clearwater, Florida 33760

Telephone (727) 325-1256 Fax _____

Email JSheridan@pennoni.com

All correspondence should be sent to WSweikert@pennoni.com

(Specify one of the above)

What legal interest does applicant have in the property?

- Ownership
- Option
- Purchase and Sales Contract
- Other _____

Documentation of right, title, or interest must accompany the application

EXISTING

Land Use General Commercial / Light Industrial Zoning C-2 / M-1

Total Gross floor Area of All Structures C-2 = 50,538 / M-1 = 58,319

Total Lot Coverage (%) C-2 = 15% / M-1 = 35.9%

Total Square footage of area covered C-2 = 6% / M-1 = 8%

(This includes structures, overhangs, paved or gravel surfaces, etc. 'not green and growing')

PROPOSED

Land Use General Commercial / Light Industrial Zoning C-2 / M-1

Total Gross floor Area of All Structures C-2 = 5,200 / M-1 = 13,000

Total Lot Coverage (%) C-2 = 18% / M-1 = 36%

Total Square footage of area covered C-2 = 8% / M-1 = 10%

(This includes structures, overhangs, paved or gravel surfaces, etc. 'not green and growing')

Number of existing parking spaces 9

Number of parking spaces proposed 11

Estimated Traffic Generation at peak hour Existing trips

Proposed trips

One trip is one vehicle entering OR one vehicle exiting. Therefore, one car driving in and then leaving an establishment equals 2 'trips'. Trucks are equivalent to two cars, therefore, one truck entering and then leaving an establishment equals 4 'trips'.

Proposed use of site (describe project) Expansion of existing Mini Storage facility

Proposed square footage of building(s) C-2 = 6,400 / M-1 = 13,000

Proposed number of units 1

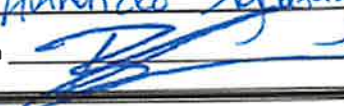
Acreage of parcel 16.07 ac Acreage to be Developed 0.63 ac

Are any new streets proposed?

Statement of purpose: Expansion of existing Mini Storage facility

Note: If any waivers to the site plan review regulations are being requested for this application, a letter must be submitted to the planning commission stating what waivers are requested and the reasons for such waivers.

I, as the owner or duly authorized agent for the owner of the property named above, do hereby submit this plan for review as required by the regulations of the planning commission of the City of Polk City. To the best of my knowledge, all information submitted with this site plan application is true and correct.

Name Brian Cohen Date 5-18-2023
Title Authorized Signatory
Signature 

- ❖ See the Land Development Regulations (LDR), Article 2, Article 3 and Article 7 of the City Code, regarding the zoning district regulations, land use standards, and site plan review process. The entire Polk City Code is online at www.mypolkcity.org. Follow link to the 'City Publications, Maps and Forms' then 'Land Development Code.'
- ❖ This application must be accompanied by the application fee and all information required by the Land Development Regulations, unless waivers are requested. All requests for waivers must be submitted in writing, specifying the section number of the item to be waived and the rationale for why you believe it should be waived. Waivers may or may not be granted by the Reviewing Authority.
- ❖ The site plan checklist is provided to assist in gathering information and presenting an application. The applicant is responsible for presenting information showing that all Land Development Regulation standards will be met. The reviewing authority may require additional information to determine completeness and compliance.
- ❖ The Development Director will determine the appropriate Reviewing Authority for the application review. The Reviewing Authorities include the Development Director, the Code Enforcement Officer, the Staff Review Committee or the Planning Board. The Code Enforcement Officer will also determine if the proposed use is permitted in the zoning district(s).
- ❖ Contact the Planning Department at (863) 984-1375 with questions.

LISTING OF ABUTTERS TO A PROPOSED SITE PLAN APPLICATION

Project Name: Storage King - Polk City / AGAP Polk City, LLC

Street Address of Project: 119 Bronson Trl

Parcel ID of Project: 252633297600001030

This form is used to list the names, addresses, and parcel identification numbers of all properties which abut a property on which a new site plan or a site plan amendment is proposed. The definition of ABUTTER is "A person who owns adjacent land or land across a street right-of-way from the subject lot". Notification of abutters is a requirement for all site plan applications and site plan amendments; re-notification also may be required for site plan applications if sufficient time has lapsed between the preliminary application abutter notification and the time that a site plan application is submitted. Abutter information shall be obtained from the Polk County Property Appraiser's records. A list of all abutters (including applicant) must be filed with all applications - Be sure to include the names and addresses of anyone whose professional seal will appear on the final plan.

Use Additional Sheets if Necessary.

1. Name: Proutsos Regina L DVM PLLC
Mailing Address 3854 Isle Vista Ave
Belle Isle, FL 32812-2220
Street Address (If Different) 224 Commonwealth Ave N, Polk City, FL 33868
Parcel ID# 252633297600001130

2. Name: Branch Banking and Trust Company
Mailing Address PO Box 167
Winston Salem, NC 27102-0167
Street Address (If Different) 212 N Commonwealth Ave, Polk City, FL 33868
Parcel ID# 252633297600001050

3. Name: Thompson Investment Properties, LLC
Mailing Address 303 Broadway BLVD SE
Polk City, FL 33868-9240
Street Address (If Different) 315 Broadway BLVD, Polk City, FL 33868
Parcel ID# 352633297600001050

4. Name: R Prop FL LLC
Mailing Address PO Box 70

- Douglasville, GA 30133-0070
- Street Address (If Different) 321 Broadway BLVD, Polk City, FL 33868
Parcel ID# 252633297600001160
-
5. Name: Marker Investment Properties LTD
Mailing Address PO Box 775
Polk City, FL 33868-0775
Street Address (If Different) 0 Broadway BLVD SE, Polk City, FL 33868
Parcel ID# 252633297600001090
-
6. Name: Crown Castle GT Company, LLC
Mailing Address 4017 Washington Rd
McMurray, PA 15317-2510
Street Address (If Different) 0 Orange BLVD, Polk City, FL 33868
Parcel ID# 252633297600001080
-
7. Name: Wyndhill, LLC
Mailing Address 1005 Orienta Ave, Ste 1500
Altamonte Springs, FL 32701-5020
Street Address (If Different) 420 Commonwealth Ave N, Polk City, FL 33868
Parcel ID# 252633297600001100
-
8. Name: Jason Sheridan, P.E.
Mailing Address 5755 Rio Vista Drive
Clearwater, Florida 33760
Street Address (If Different) _____
Parcel ID# Engineer of Record for Project
-
9. Name: _____
Mailing Address _____
Street Address (If Different) _____
Parcel ID# _____

STORAGE KING - POLK CITY

SITE PLAN CONSTRUCTION DOCUMENTS

Sheet List Table	
Sheet Number	Sheet Title
CS0001	COVER PAGE
CS0201	EXISTING CONDITIONS PLAN
CS0501	DEMOLITION AND EROSION CONTROL PLAN
CS0502	EROSION AND SEDIMENT CONTROL DETAILS
CS1000	OVERALL SITE PLAN
CS1001	DIMENSIONED SITE PLAN
CS1500	OVERALL GRADING AND DRAINAGE PLAN
CS1501	GRADING AND DRAINAGE PLAN
CS1701	UTILITY PLAN
CS2001	LANDSCAPE PLAN
CS6001	SITE DETAILS
CS6002	SITE DETAILS
CS6003	SITE DETAILS
CS6061	LANDSCAPING DETAILS

Located At:
119 BRONSON TRL
POLK CITY, FLORIDA 33868

Plans Prepared For:
AGAP POLK CITY, LLC
 150 E. 52ND STREET, SUITE 32002
 NEW YORK, NEW YORK 10022

GENERAL NOTES

- A PRE-CONSTRUCTION MEETING WITH THE LOCAL GOVERNING AGENCIES IS REQUIRED PRIOR TO COMMENCING ACTIVITIES. THE PRE-CONSTRUCTION MEETING CANNOT BE SCHEDULED UNTIL ALL THE REQUIRED PERMITS, LOCAL, STATE, AND FEDERAL ARE ISSUED.
- A CONFORMANCE LETTER SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER OF RECORD (EOR) OF THESE PLANS AND ARCHITECT BEFORE THE EOR CAN SUBMIT HIS CERTIFICATION TO ANY REVIEWING AGENCIES CERTIFIED BY THE CONTRACTOR'S GEOTECHNICAL ENGINEER. THE CONFORMANCE LETTER SHALL READ THE FOLLOWING:
 WE PROVIDED PROFESSIONAL MATERIALS TESTING AND SAMPLING SERVICES AND HAVE MADE EVERY REASONABLE EFFORT TO ASCERTAIN WHETHER THE GEOTECHNICAL ELEMENTS (E.G. UTILITY TRENCH BACKFILL, ROADWAY CURBES AND COMPACTION ON BUILDING PADS) WERE CONSTRUCTED IN GENERAL CONFORMANCE WITH THE APPROVED PROJECT SPECIFICATIONS. TO THE BEST OF OUR KNOWLEDGE, THE CONSTRUCTION MATERIALS FIELD AND LABORATORY TESTS, AND SAMPLING, ARE IN GENERAL CONFORMANCE TO THE LETTER AND INTENT OF THE PROJECT PLANS AND SPECIFICATIONS. WE CONDUCTED INSPECTION AND TESTING OF THE ABOVE LISTED ITEMS IN ACCORDANCE WITH PROPER ASTM GUIDELINES WHERE APPLICABLE.
 DURING CONSTRUCTION THE CONTRACTOR'S GEOTECHNICAL ENGINEER SHALL PROVIDE GEOTECHNICAL ELEMENTS OVERSIGHT AND RECOMMENDATIONS, IF NEEDED, (E.G. FOR DRIVEWAYS, STRUCTURES, ETC. AND OTHER GEOTECHNICAL RELATED ELEMENTS) TO INCLUDE SITE ANOMALIES, SUBSURFACE CONDITIONS, PAVEMENT MIX DESIGN, SPECIFICATION INTERPRETATIONS. THE COST OF THE GEOTECHNICAL OVERSIGHT SHALL BE INCLUDED AS PART OF THE SITE WORK CONSTRUCTION CONTRACT PRICE. IN LOCATIONS WHERE THE CONSTRUCTION TAKES PLACE WITHIN PUBLIC RIGHTS-OF-WAY, ALL SAMPLING AND TESTING SHALL BE IN ACCORDANCE WITH LOCAL AGENCY REQUIREMENTS. THE GEOTECHNICAL ENGINEER REQUIREMENTS SHALL BE ADHERED TO AND SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS/REQUIREMENTS CONTAINED HEREON.
- THE CONTRACTOR SHALL CONTINUALLY PROVIDE THE EOR, ARCHITECT AND OWNER (IF APPLICABLE) WITH AN UPDATED SCHEDULE AS NEEDED OF CIVIL SITE CONSTRUCTION PROJECT MILESTONES (AND CLEARLY DEFINED MILESTONES WHICH ARE PERTINENT TO AND APPROVED BY THE EOR AND ARCHITECT) TO INCLUDE BUT NOT LIMITED TO COMPLETED SHOP DRAWINGS, SYSTEM STARTUP, UTILITY CONNECTIONS, SYSTEMS TESTING, AGENCY APPROVALS WITH SUFFICIENT DETAIL TO ENABLE THE EOR TO BE AT THE SITE TO PERFORM CONSTRUCTION OBSERVATION ACTIVITIES SO AS TO NOT DELAY THE PROJECT FOR CERTIFICATION.
- THE CONTRACTOR SHALL COORDINATE, AS APPLICABLE, WITH THE EOR, ARCHITECT AND GEOTECHNICAL ENGINEER TO WITNESS ALL TESTING AND OBSERVE ALL CONSTRUCTION PRIOR TO COMPLETION TO INCLUDE SUBSURFACE UTILITIES PRIOR TO TRENCH FILLING.
- AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE EOR AND ARCHITECT AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED CONSTRUCTION SCHEDULE TO INCLUDE ALL PROJECT TEST DATES AND MILESTONES, TESTING REQUIREMENTS, SHOP DRAWINGS, SUBMITTALS, AND GEOTECHNICAL ENGINEER'S CONTACT INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING AND OBTAINING SHOP DRAWINGS AND STRUCTURES (INCL. FROM PREFAB COMPANY) WHICH ARE SIGNED AND SEALED BY THE VENDOR'S PROFESSIONAL ENGINEER.
- THE CONTRACTOR WHOSE BIDS ON THIS PROJECT UNDERSTANDS THAT BY ACCEPTING THESE PLANS (AS PART OF THE BIDDING CONTRACT DOCUMENTS OR EQUIVALENT) SHALL WITHOUT EXCLUSION COMPLY WITH THESE PLANS, AND SHALL HOLD HARMLESS AND INDEMNIFY THE EOR, ARCHITECT AND THE OWNER OF ALL LIABILITY ASSOCIATED WITH THESE CONSTRUCTION PLANS. IF THE CONTRACTOR EXCLUDES ANY WORK, IT MUST BE FIRST APPROVED BY THE EOR, ARCHITECT AND OWNER IN WRITING AND THE EXCLUSIONS MUST EXPLICITLY REFERENCE A SHEET, SECTION, AND PARAGRAPH IN THESE SPECIFICATIONS.
- IF THE CONTRACTOR OBSERVES ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS, HE SHALL PROMPTLY NOTIFY THE EOR AND ARCHITECT. CONTRACTOR SHALL CROSS REFERENCE OTHER DESIGN DISCIPLINES SUCH AS ARCHITECTURAL, STRUCTURAL, AND MEP. IF THE CONTRACTOR PROCEEDS WITH WORK AFFECTED BY SUCH ERRORS, DISCREPANCIES OR OMISSIONS WITHOUT RECEIVING CLARIFICATION, HE DOES SO AT HIS OWN RISK. ANY ADJUSTMENTS INVOLVING SUCH CIRCUMSTANCES MADE BY THE CONTRACTOR, PRIOR TO APPROVAL BY THE EOR AND ARCHITECT, SHALL BE AT THE CONTRACTOR'S RISK AND ANY COMPLICATIONS OR DISPUTES ARISING THEREFROM SHALL BE AT THE CONTRACTOR'S SOLE EXPENSE.

STANDARD CONSTRUCTION NOTES

- THE SANITARY SEWER SYSTEM INCLUDING THE MANHOLES AND GRAVITY MAINS ARE PRIVATELY OWNED AND MAINTAINED.
- OWNER SHALL COORDINATE WITH THE CITY'S UTILITY SERVICES OFFICE TO ADDRESS ANY APPLICABLE INSPECTIONS AND CONNECTION FEES, E.G., WATER AND SEWER FEES.
- SHOP DRAWINGS SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO SUBMITTAL TO THE CITY ENGINEER FOR FINAL REVIEW AND APPROVAL.
- OVER STORY TREES MUST BE LOCATED MORE THAN 10 FEET FROM A PUBLIC WATER, SEWER, RECLAIMED WATER, ELECTRIC, COMMUNICATION AND GAS, WITHIN THE CITY'S UTILITY SERVICE AREA.
- MAINTENANCE REQUIREMENTS. IT SHALL BE THE DUTY OF THE HOMEOWNERS ASSOCIATION OR IN THE ABSENCE OF A HOA, PROPERTY OWNERS, TO PROVIDE PROPER MAINTENANCE OF THE TRAFFIC CONTROL MARKINGS AND SIGNAGE, INCLUDING PARKING LOT PAVEMENT MARKINGS AND SIGNAGE, AND STORMWATER MANAGEMENT SYSTEM SO THAT THE SYSTEM CONTINUES TO FUNCTION AS DESIGNED AND PERMITTED. THE CITY SHALL HAVE ACCESS TO INSPECT THE FACILITIES AND REQUIRE SUCH MAINTENANCE, REPAIR, AND REPLACEMENT OF FACILITIES AS NECESSARY.
- OBSTRUCTION SUCH AS WALLS, FENCES AND LANDSCAPING SHALL NOT BE INSTALLED WITHIN A PUBLIC UTILITY EASEMENT THAT PREVENTS MAINTENANCE PERSONNEL AND EQUIPMENT ACCESS. OBSTRUCTIONS WITHIN THE UTILITY EASEMENT WILL BE REMOVED AT THE PROPERTY OWNER'S COST. OR AT THE CITY'S DISCRETION REMOVE THE OBSTRUCTION WITHOUT COMPENSATION TO THE PROPERTY OWNER. THE PROPERTY OWNER SHALL BE RESPONSIBLE AND LIABLE FOR ANY DAMAGE TO THE CITY'S UTILITIES DUE TO PLACEMENT OF THE OBSTRUCTION.

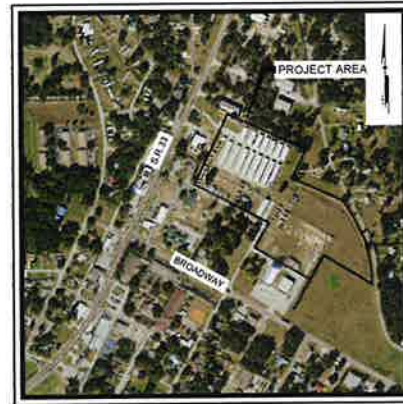
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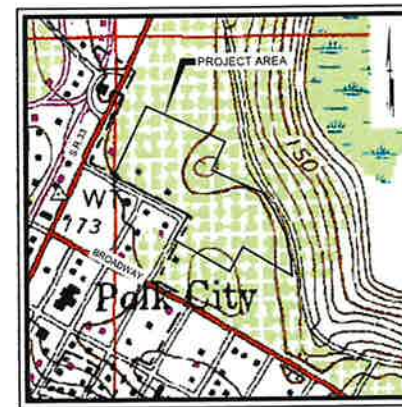
SOILS MAP
Scale: 1" = 600'

SOIL TYPE	SOIL'S No.	HYDROLOGIC GROUP
APONKA	2	A
CANDLER	3	A



LOCATION MAP
Scale: 1" = 600'

SECTION: 33 TOWNSHIP: 26S RANGE: 25 E
 LAT: 28° 11' 03" N
 LONG: 81° 48' 15" W



USGS MAP
Scale: 1" = 600'

PREPARED BY:
PENNONI ASSOCIATES INC.



401 Third Street SW
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 T 863.324.1112
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 COA #00007819

AS-BUILT NOTES

AS-BUILT RECORD DRAWING REQUIREMENTS AND SUBMITTAL: UPON COMPLETION OF ALL PUBLIC UTILITY AS-BUILT DRAWING FOR ALL PUBLIC WATER MAIN, RECLAIMED/REUSE WATER, GRAVITY SEWER, LIFT STATION AND FORCE MAIN IMPROVEMENTS, STATE PLANE COORDINATES (FLORIDA WEST) FOR ALL PUBLIC UTILITY INSTALLATIONS ARE REQUIRED. AS-BUILT INFORMATION SHALL INCLUDE THE LOCATION AND DEPTH OF THE UTILITY MAIN SYSTEM, INCLUDING THE TYPE OF PIPE AND FITTINGS. AS-BUILT DRAWINGS MUST BE SUBMITTED IN AUTOCAD FORMAT, INCLUDING THE POINT FILE, AND A HARD COPY SIGNED, SEALED AND DATED BY THE ENGINEER OF RECORD.

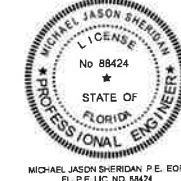
RECORD DRAWING REQUIREMENTS AND SUBMITTAL: FOLLOWING COMPLETION OF CONSTRUCTION AND TESTING, THE DEVELOPER'S ENGINEER OF RECORD LICENSED IN THE STATE OF FLORIDA SHALL SUBMIT TO THE CITY, (1) CD WITH ELECTRONIC AS-BUILT DRAWING FILE IN AUTOCAD WITH ALL INFORMATION SHOWN IN STATE PLANE COORDINATE SYSTEM (FLORIDA WEST), AND (2) BLUEPRINT OR BLACKLINE COPIES. THE BLUEPRINT PAGES SHALL BE SIGNED AND DATED IN INK AND SEALED BY THE ENGINEER OF RECORD. UPON COMPLETION OF ALL PUBLIC UTILITY IMPROVEMENTS AND BEFORE ACCEPTANCE BY THE CITY, THE DEVELOPER'S ENGINEER SHALL SUBMIT AS-BUILT DRAWING FOR ALL PUBLIC WATER MAIN, RECLAIMED/REUSE WATER, GRAVITY SEWER AND FORCE MAIN IMPROVEMENTS, STATE PLANE COORDINATES (FLORIDA WEST) FOR ALL PUBLIC UTILITY INSTALLATIONS ARE REQUIRED. AS-BUILT INFORMATION SHALL INCLUDE THE LOCATION AND DEPTH OF THE UTILITY MAIN SYSTEM, INCLUDING THE TYPE OF PIPE AND FITTINGS. AS-BUILT DRAWINGS MUST BE SUBMITTED IN AUTOCAD FORMAT, INCLUDING THE POINT FILE, AND A HARD COPY SIGNED, SEALED AND DATED BY THE ENGINEER OF RECORD.

RECORD DRAWINGS MUST SHOW CHANGES TO AND/OR DEVIATIONS FROM APPROVED CONSTRUCTION PLANS. CHANGED INFORMATION MUST BE CROSSED OUT WHILE REMAINING LEGIBLE WITH THE NEW INFORMATION PRINTED BESIDE. THE ORIGINAL SIGNIFICANT CHANGES SUCH AS PIPING ROUTING OR ALIGNMENT SHOULD BE HIGHLIGHTED ON THE DRAWINGS USING A "CLOUD." THE RECORD DRAWINGS SHOULD INCLUDE THE FOLLOWING INFORMATION:

- LOCATION OF PIPE WITHIN RIGHT-OF-WAY (HORIZONTAL AND VERTICAL) AT REGULAR INTERVALS. A POINT LOCATION AT EVERY 100 FEET OF PIPE ALIGNMENT AND CHANGE OF PIPE TYPE OR SIZE. ELEVATIONS SHALL BE REFERENCED FROM NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD8). A CONVERSION FACTOR SHALL BE PROVIDED IF ELEVATIONS IN THE APPROVED CONSTRUCTION PLANS ARE REFERENCED FROM THE NATIONAL GEODEIC VERTICAL DATUM (NGVD).
- LOCATION OF CASING PIPE. SHOW THE START AND END OF PIPE CASING. INCLUDE SIZE, LENGTH, MATERIAL TYPE AND WALL THICKNESS.
- LOCATION, SIZE AND TYPE OF ALL FITTINGS, BENDS, REDUCERS, SLEEVES, PLUGS, CAPS, TEES, CROSSES, TAPS, RESTRAINED JOINTS, VALVES, BLOWOFFS, FLUSH VALVES, BACK FLOW PREVENTERS (BFP), FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS (FDC), ETC.
- RECORD ALL FINISHED GRADE ABOVE THE LOCATION OF THE SURVEYED FITTINGS.
- RECORD ANY CHANGES IN ALIGNMENT OR ELEVATION OF OTHER UTILITIES DUE TO CONSTRUCTION RECORD ALL FOUND UTILITIES NOT SHOWN ON APPROVED CONSTRUCTION PLANS.
- PROVIDE INSTALLED PIPE DIAMETER AND MATERIAL TYPE.
- ON PLAN VIEW, SHOW LOCATION OF WASTEWATER MANHOLES, THE DISTANCE BETWEEN MANHOLES, FINISHED RIM ELEVATIONS, ENTRANCE AND EXIT PIPE INVERT ELEVATIONS AT EACH MANHOLE, AND PIPE SLOPES.
- ALL ELECTRONIC DRAWINGS INCLUDING POINTS FILE SHALL BE SUBMITTED IN AUTOCAD WITH ALL INFORMATION SHOWN IN STATE PLANE COORDINATE SYSTEM (FLORIDA WEST).

Digitally signed by Michael J Sheridan
 DN: cn=Michael J Sheridan,
 dnQualifier=0141000001965A84ECC00091CB0,
 o=Pennonni Associates, c=US
 Date: 2023.06.29 14:38:23-0400'

This document has been digitally signed and sealed by Michael Jason Sheridan on the date indicated hereon. Printed copies of this document are not considered signed and sealed and the signature need not be witnessed by another person.



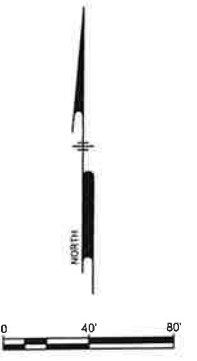
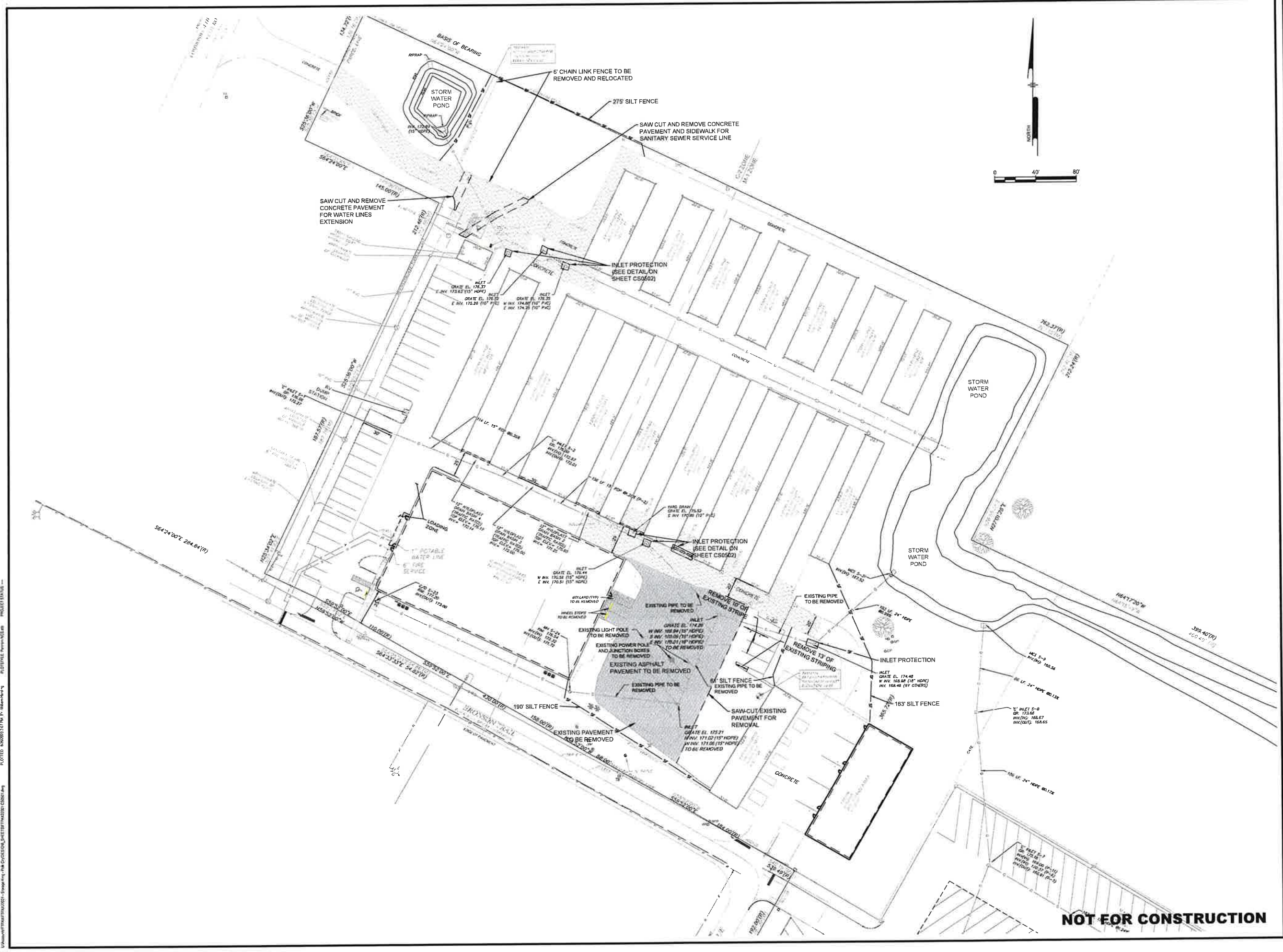
MICHAEL JASON SHERIDAN, P.E. EOR
 FL P.E. LIC. NO. 88424



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JOB No. FT-PAX22001 LAST REVISED: 06/26/2023 SIGNATURE



PLOTTED: 04/20/2023 10:17 AM BY: Wm.Henry
 PROJECT STATUS: --
 PROJECT: STORAGE KING - POLK CITY
 DRAWING: DEMOLITION AND EROSION CONTROL PLAN


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 ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

 MICHAEL JASON SHERIDAN, P.E. FOR FL. P.E. LIC. NO. 88424

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 POLK CITY, FLORIDA 33888
DEMOLITION AND EROSION CONTROL PLAN
 AGAP POLK CITY, LLC
 150 E. 52 STREET, SUITE 32002
 NEW YORK, NY 10022

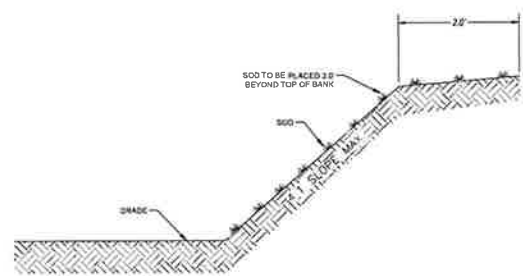
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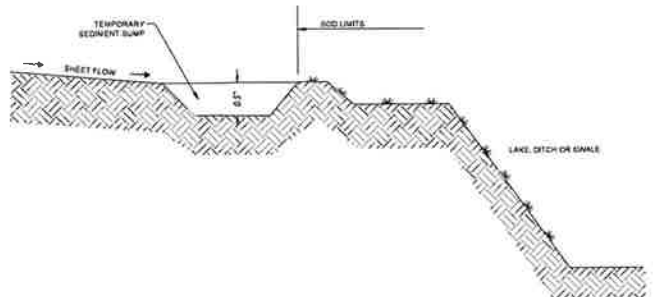
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 DATE: 3/03/2023
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 DRAWN BY: MF
 APPROVED BY: CWS

CS0501

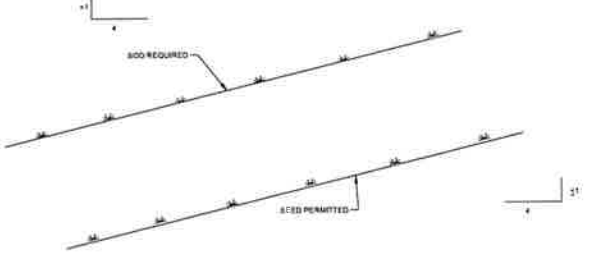
NOT FOR CONSTRUCTION



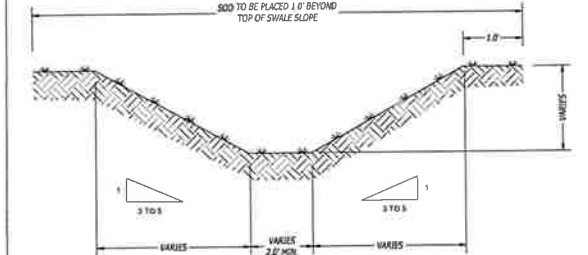
TYPICAL RETENTION/DETENTION POND SECTION



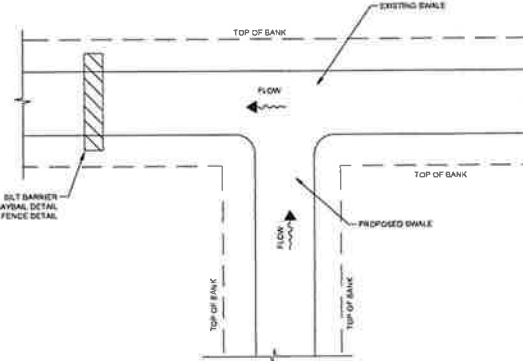
TEMPORARY SEDIMENT SUMP



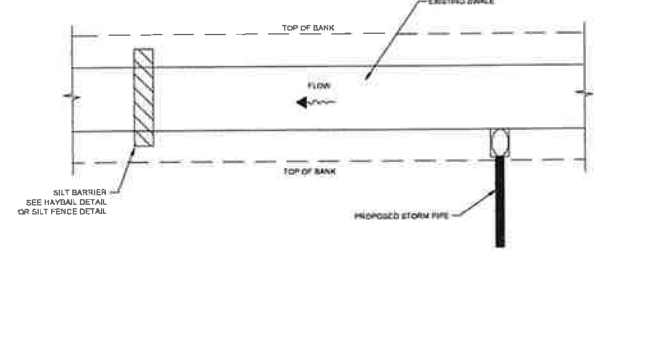
GRASSED SLOPES



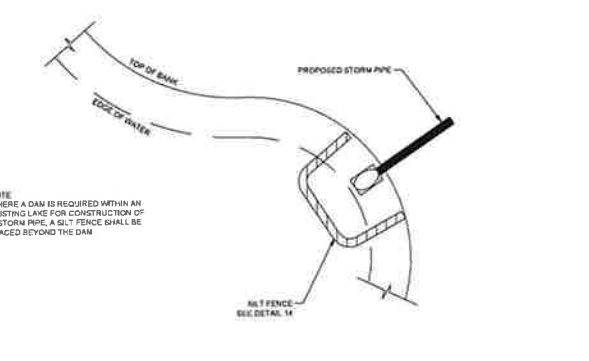
TYPICAL SWALE SECTION



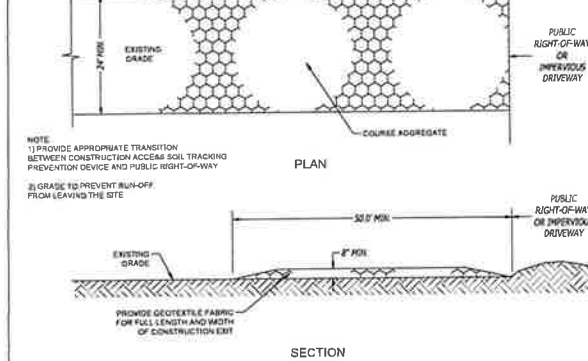
SILT BARRIER AT CONNECTION OF SWALE TO EXISTING SWALE



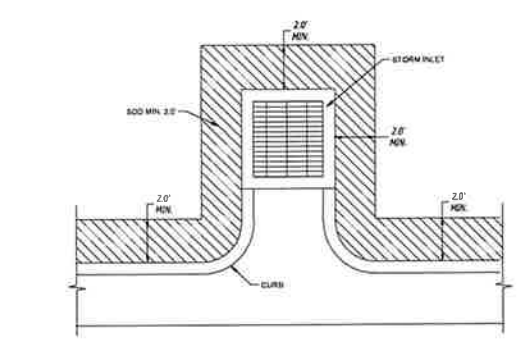
SILT BARRIER AT CONNECTION OF STORM PIPE TO EXISTING SWALE



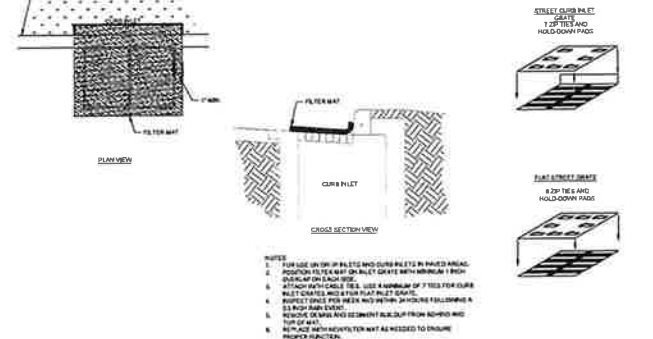
SILT BARRIER AT CONNECTION OF STORM PIPE TO EXISTING LAKE



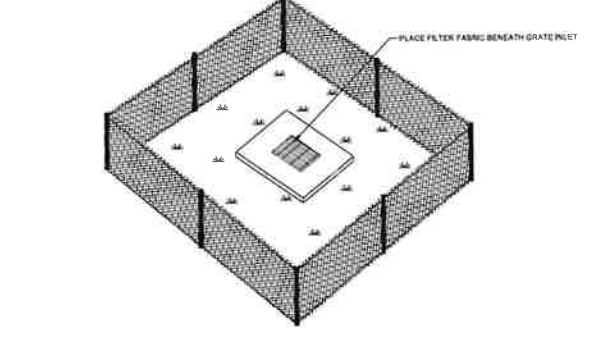
CONSTRUCTION ACCESS SOIL TRACKING PREVENTION DEVICE PER FDOT INDEX 106



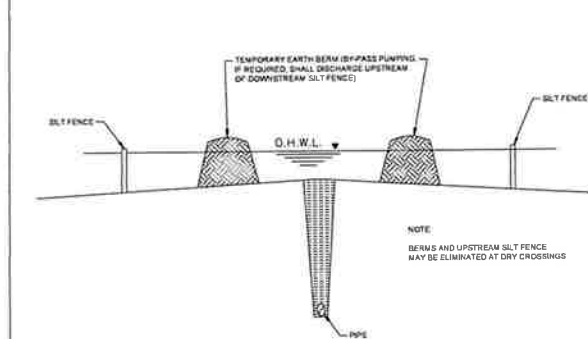
SOD ALONG CURB AND AROUND INLET



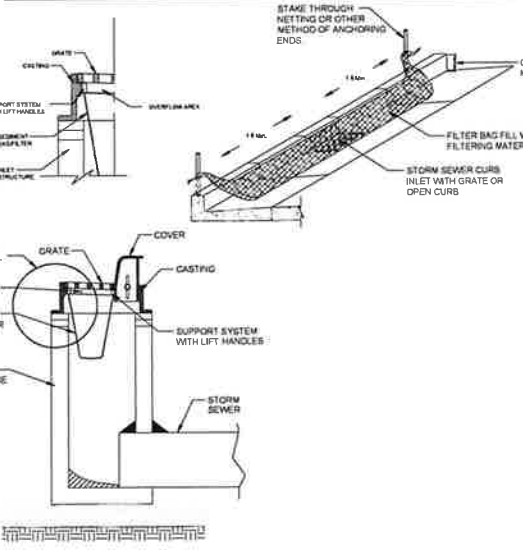
INLET PROTECTION FILTER MAT



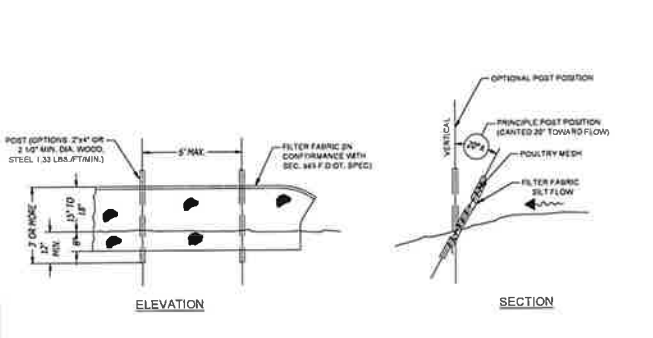
STAKED SILT BARRIER OR SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS



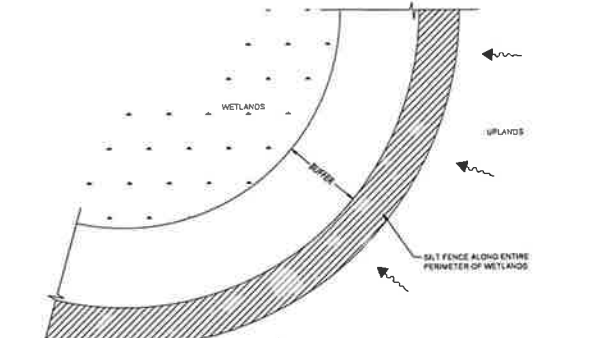
UNDERGROUND PIPE CROSSING



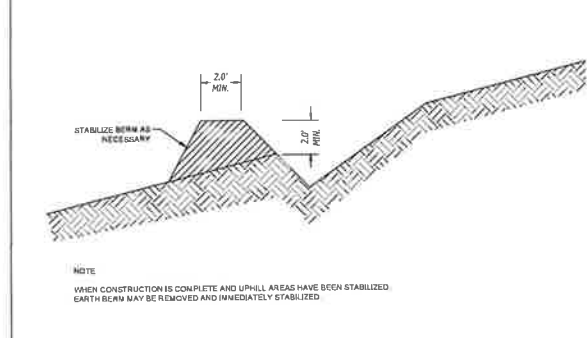
INLET PROTECTION DETAIL



TYPICAL SILT FENCE



SILT BARRIER AROUND WETLANDS



STABILIZED EARTH BERM

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811
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 Michael Jason Sherman, P.E. EOR
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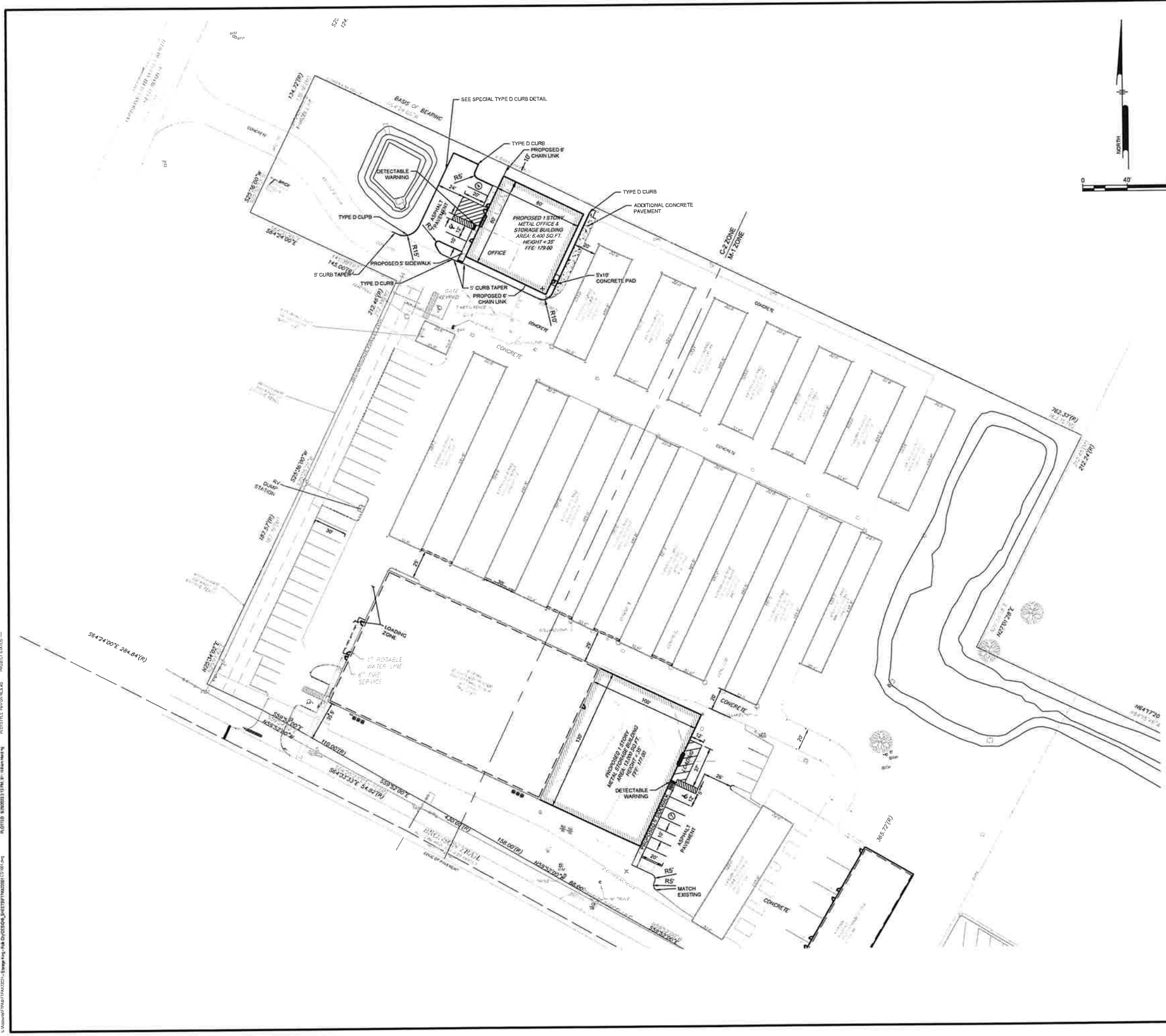
EROSION AND SEDIMENT CONTROL DETAILS

NO.	DATE	REVISIONS	BY

PROJECT: FTPAX22001
 DATE: YYYY-MM-DD
 DRAWING SCALE: AS NOTED
 DRAWN BY: MF
 APPROVED BY: CWS

CS0502

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LEGEND

---	EXISTING PROPERTY BOUNDARY
---	EXISTING CONDITIONS TEXT
---	EXISTING SPOT ELEVATIONS
---	EXISTING CONTOURS
---	EXISTING POTABLE WATER
---	EXISTING FENCE LINE
---	EXISTING SANITARY LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING BURIED TELEPHONE LINE
---	PROPOSED RIGHT-OF-WAY
---	TEXT
---	PROPOSED SPOT ELEVATIONS
---	PROPOSED CONTOURS
---	PROPOSED POTABLE WATER
---	PROPOSED FORCE MAIN
---	PROPOSED PARKING SPACE COUNT

SITE PLAN NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE OWNER AND FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS MANUAL, THE FIRST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE MUTED LATEST EDITIONS. CONSTRUCTION SHALL COMPLY WITH LOCAL MUNICIPAL / COUNTY REQUIREMENTS AS APPLICABLE.
- CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY AND VERIFY ALL NECESSARY QUANTITIES REGARDLESS OF ANY QUANTITIES SHOWN HEREON IN ORDER TO ADEQUATELY SUPPLY THE NECESSARY EQUIPMENT ILLUSTRATED ON THESE PLANS AND TO HAVE FULLY FUNCTIONAL SYSTEMS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL ABOVE AND UNDERGROUND UTILITIES AND RELOCATE AS NECESSARY FOR THE PROPOSED IMPROVEMENTS. EFFECTIVE DECEMBER 1, 1993, THERE IS A STATEWIDE "ONE CALL" UTILITY LOCATION SERVICE. THE CONTRACTOR SHALL CALL 811 48 HOURS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY CONFLICTS OCCUR SO THE DESIGN MAY BE ADJUSTED.
- CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN AND TRAFFIC CONTROL, A COORDINATION WITH THE CITY AND COUNTY TRAFFIC ENGINEER FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, ADA TRAVEL PATHS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED.
- AN APPROVED, SIGNED BY THE CITY/COUNTY SET OF PLANS SHALL BE ON SITE AT ALL TIMES DURING CONSTRUCTION.
- EXISTING PAVEMENT SHALL BE SAWCUT & PROPOSED PAVEMENT SHALL BE INSTALLED AT SAME LINE & GRADE UNLESS INDICATED OTHERWISE. ALL EXISTING PAVEMENT & SURFACE AS NECESSARY TO CREATE A SMOOTH TRANSITION BETWEEN EXISTING AND PROPOSED PAVEMENT.
- ALL PAVING IMPROVEMENTS SHALL GRADUALLY TRANSITION TO EXISTING AND SHALL COMPLY WITH ADA GUIDELINES AND THE FLORIDA SCALING CODE. ALL GUTTERS CROSSING AT ADA PATHS SHALL BE FLAT (4" SLOPE).
- STEM WALLS, RETAINING WALLS, DOCKS, BOAT RAMPS, ETC. IF ANY OTHER STRUCTURAL WORK TO BE DESIGNED BY STRUCTURAL ENGINEER AND COORDINATED AND PAID FOR BY CONTRACTOR. WALLS AND FENCES SHALL BE STRUCTURAL ENGINEER'S RESPONSIBILITY.
- CONTRACTOR SHALL COORDINATE WITH PENNONI SURVEY DEPARTMENT (334.324.1122) FOR COMPETITIVE BID TO REVISION CONSTRUCTION LAYOUT, AND RESULTS IN ORDER TO FACILITATE COORDINATION AND CLOSURE PROCESS TO REDUCE DELAYS. PENNONI TO BE CONTACTED FOR VERTICAL DATUM VERIFICATION AND FOR BY CONTRACTOR. CONTRACTOR IS REQUIRED TO COORDINATE DIRECTLY WITH AND HERE PENNONI SURVEY DEPARTMENT AND SHALL NOT RELY ON ENGINEER TO COORDINATE SURVEYING REQUIREMENTS.
- CONTRACTOR SHALL FOLLOW FOOT DESIGN STANDARD (LATEST EDITION) INDEX No. 17345 FOR PAVEMENT MARKINGS AND STRIPING. 5" DOUBLE STRIPE SHALL BE INSTALLED FROM STOP BARS AT DRIVEWAY CONNECTIONS.
- CONTRACTOR SHALL COORDINATE AND ARRANGE WITH OWNER PRE-CONSTRUCTION MEETING PRIOR TO CONSTRUCTION WITH ALL PARTIES (e.g. UTILITY OWNER, PENNONI OWNER, CITY, COUNTY ETC.) AND PROVIDE 14 DAYS NOTICE OF MEETING VIA FAX NOTICE. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING PENNONI INFORMED OF ALL SCHEDULED CIVIL RELATED MILESTONES.
- CONTRACTOR SHALL PROVIDE SIGNED AND SEALED AS-BUILT APPROVAL OF INSTALLATIONS BY UTILITY OWNER DOES NOT SUPERSEDE THE NEED TO COMPLY WITH ENGINEER'S REQUIREMENTS CONTAINED HEREON AND ON PERMITS.
- ALL SHOP DRAWINGS AND SUBMITTALS SHALL BE SUBMITTED AND APPROVED FOR LOCAL AGENCY REVIEW. CONTRACTORS PRIOR TO CHECKING STRUCTURES AND MATERIALS. CONTRACTOR SHALL ENSURE THE MATERIAL, EQUIPMENT AND STRUCTURE PROVIDERS ARE UP TO DATE WITH CODE MATERIAL REQUIREMENTS AND HAVE COORDINATED WITH THE LOCAL JURISDICTION.
- IF APPLICABLE CONTRACTOR TO COORDINATE WITH OWNER AND CITY/COUNTY FOR SPECIFIC SIGN REQUIREMENTS (e.g. ROAD NAMES).
- CONTRACTOR TO COORDINATE WITH ARCHITECT AND ELECTRICAL CONTRACTOR TO FINALIZE POWER REQUIREMENTS.
- CONTRACTOR TO REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PLANS FOR ADDITIONAL REQUIREMENTS.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF STRUCTURE.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRICAL LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- CONTRACTOR SHALL COORDINATE WITH GEOTECHNICAL ENGINEER TO PERFORM TESTING, MONITORING AND GUARANTEE AGAINST ADJACENT STRUCTURE SETTLEMENT OR DAMAGE AS A RESULT OF DIBSITE ACTIVITIES.
- PRIOR TO FINAL ACCEPTANCE OF THE SITE, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH INCLUDING SOIL FENCE AND STRUCTURE REMNANTS.
- PROVIDE AND INSTALL CONCRETE SPLASH BLOCKS AT ALL UNPAVED AREA DOWNSPOUT LOCATIONS TO ENSURE NO EROSION WILL OCCUR UNLESS DOWNSPOUTS ARE CONNECTED TO HEADER DRAINS AS SHOWN ON DRAINAGE PLAN.
- CONTRACTOR ASSUMES FULL CONTROL AND LIABILITY OF ALL ACTIVITIES IN THE AREA OF CONSTRUCTION DURING THE LIFECYCLE OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL IMPACTS AND ASSOCIATED REPAIRS IN AND AROUND THE AREA OF CONSTRUCTION.
- USE OF THESE PLANS FOR CONSTRUCTION REQUIRES FULL COMPLIANCE UNLESS AUTHORIZED OTHERWISE IN WRITING BY THE ENGINEER OF RECORD. FINAL CERTIFICATION BY ENGINEER OF RECORD IS REQUIRED BY THE ENGINEER OF RECORD PRIOR TO THE DEMOLITION AND RELEASE OF THE CONTRACTOR'S FINAL PAY REQUEST AND OBTAINMENT OF A CERTIFICATION OF OCCUPANCY. EXISTING UTILITY LINES, e.g. POLES IN THE CONSTRUCTION AREA ARE TO BE MOVED AND PRICED FOR REMOVAL WITH NO EXCLUSIONS OR BID EXCLUSIONS ARE NOT BINDING TO OWNER UNLESS EXPLICITLY APPROVED TO BY OWNER IN WRITING WITH REFERENCE TO THIS PARAGRAPH.

Pennonni
PENNONI ASSOCIATES, INC.
 401 Third Street SW
 Winter Haven, FL 33980
 T 863.324.1172 F 863.294.6185
 COA #00007819

811
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MICHAEL JASON SHERIDAN
 LICENSE
 No. 88424
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 MICHAEL JASON SHERIDAN P.E. FOR
 FL. P.E. LIC. NO. 88424

STORAGE KING - POLK CITY
 118 BRONSON TRL
 POLK CITY, FLORIDA 33988

DIMENSIONED SITE PLAN

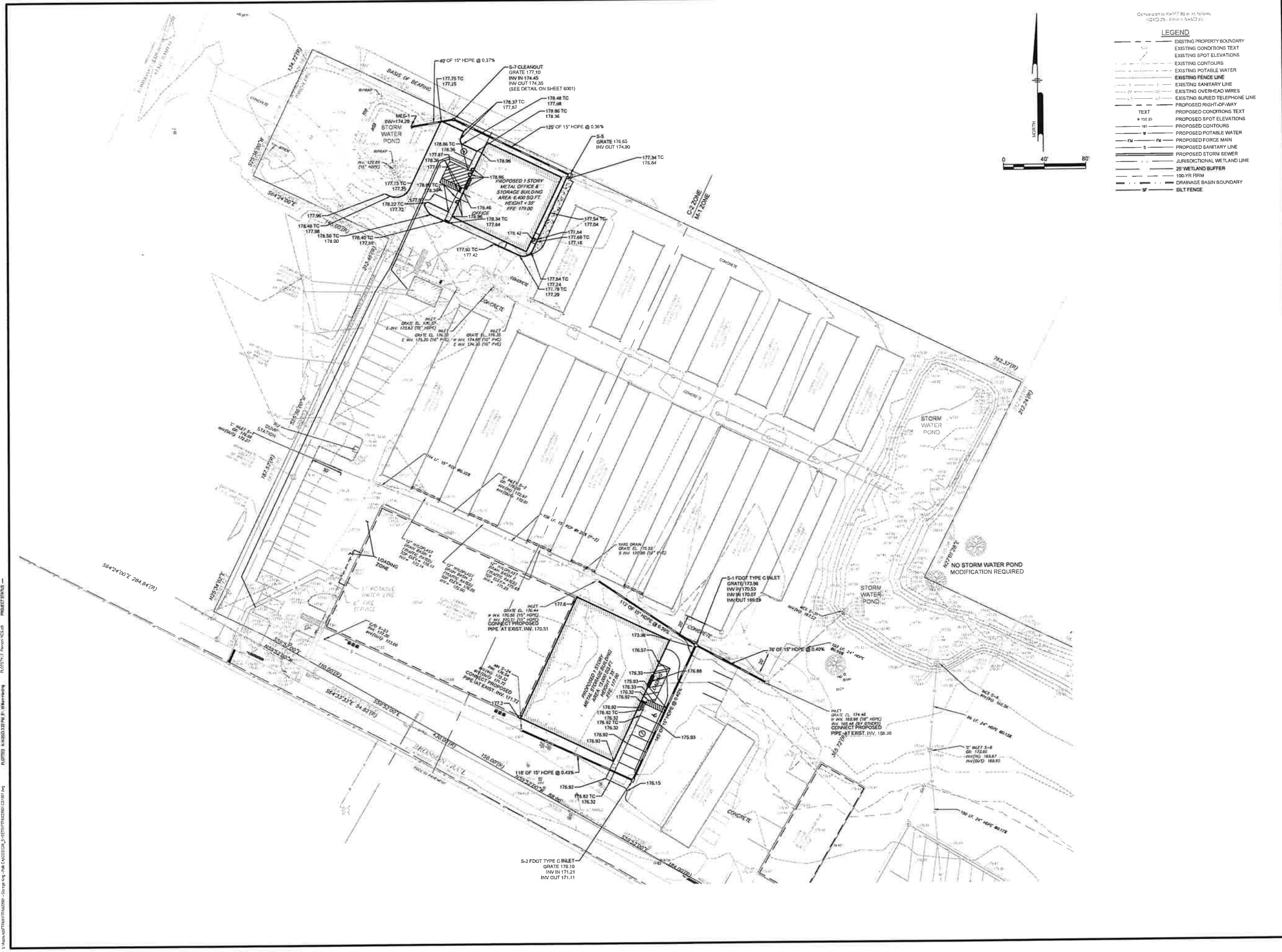
AGAP POLK CITY, LLC
 150 E. 52 STREET, SUITE 3002
 NEW YORK, NY 10022

NO.	DATE	REVISIONS PER CITY COMMENTS	WH	BY
1	06/15/2023			

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PROJECT: FTPAX22001
 DATE: 3/03/2023
 DRAWING SCALE: 1"=40'
 DRAWN BY: MF
 APPROVED BY: CWS

CS1001



Conversion to NAD 83 as follows:
NAD 83 = NAD 83

LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING CONDITIONS TEXT
- EXISTING SPOT ELEVATIONS
- EXISTING CONTOURS
- EXISTING POTABLE WATER
- EXISTING FENCE LINE
- EXISTING SANITARY LINE
- EXISTING OVERHEAD WIRES
- EXISTING BURIED TELEPHONE LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED CONDITIONS TEXT
- PROPOSED SPOT ELEVATIONS
- PROPOSED CONTOURS
- PROPOSED POTABLE WATER
- PROPOSED FORCE MAIN
- PROPOSED SANITARY LINE
- PROPOSED STORM SEWER
- JURISDICTIONAL WETLAND LINE
- 25' WETLAND BUFFER
- 100-YR FIRM
- DRAINAGE BASIN BOUNDARY
- SILT FENCE

Pennoni

PENNONI ASSOCIATES INC.
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MICHAEL JASON SHERIDAN
LICENSE
No 88424
STATE OF FLORIDA
PROFESSIONAL ENGINEER

MICHAEL JASON SHERIDAN, P.E. EOR
FL REG. LIC. NO. 88424

STORAGE KING - POLK CITY
119 BRONSON TRL
POLK CITY, FLORIDA 33868

GRADING AND DRAINAGE PLAN

AGAP POLK CITY, LLC
150 E 53 STREET SUITE 3002
NEW YORK, NY 10022

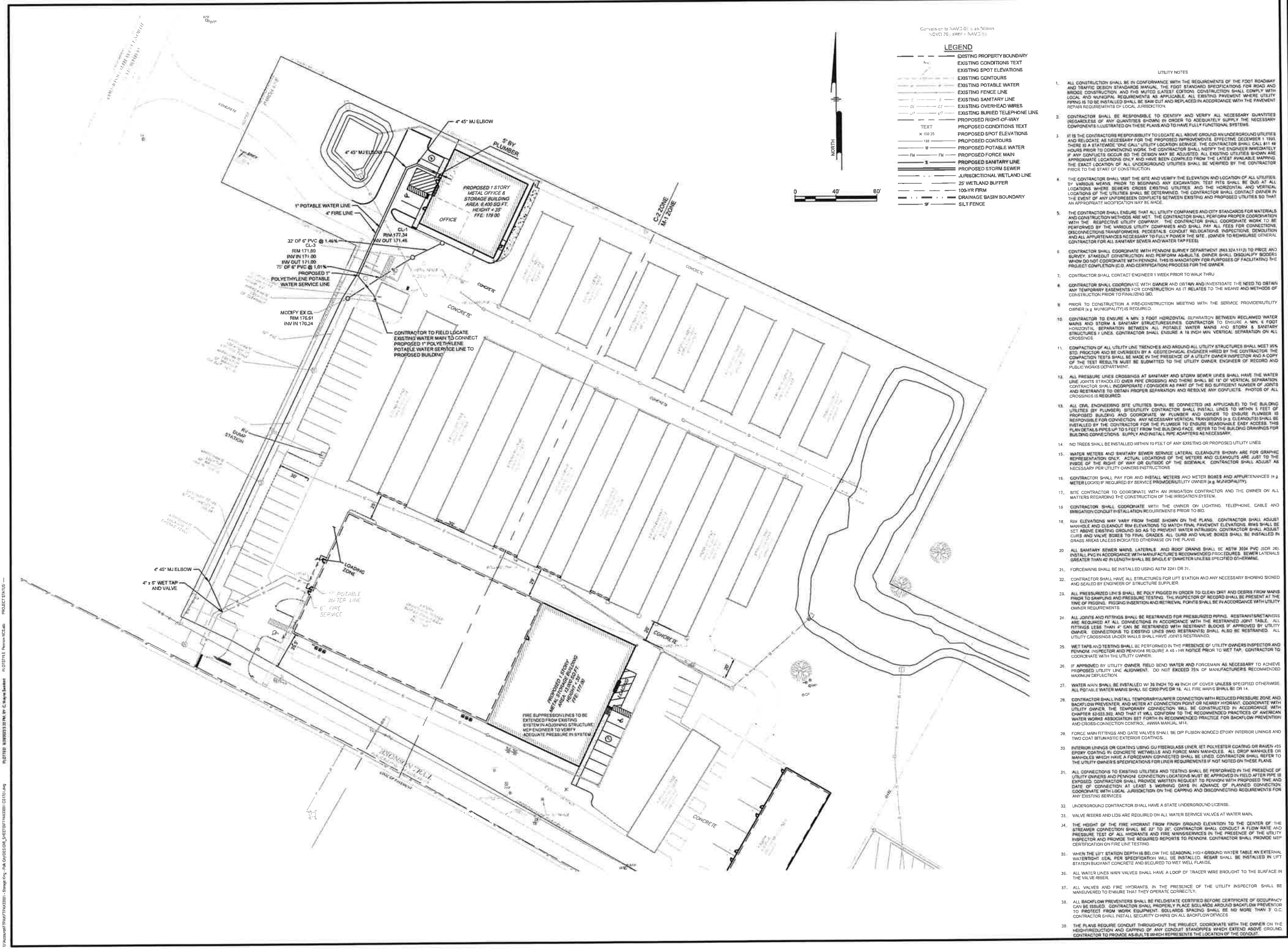
NO.	DATE	REVISIONS PER CITY COMMENTS	WH	BY
1	06/16/2023	REVISIONS PER CITY COMMENTS		

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PROJECT: FTPAX22001
DATE: 3/03/2023
DRAWING SCALE: 1"=40'
DRAWN BY: MF
APPROVED BY: CWS

CS1501

I:\Projects\FTPAX22001 - Storage King - Polk City - Grading & Drainage - 150 E 53 Street Suite 3002 - New York, NY 10022
 PLOTTED: 3/16/2023 10:14 AM BY: WJH/MLH
 PROJECT STATUS:



PENNONI ASSOCIATES INC.
 401 Third Street SW
 Winter Haven, FL 33980
 T 863.324.1112 F 863.294.6165
 COA #00007819

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MICHAEL JASON SHERIDAN, P.E., EOR
 FL # E 110, NO. 88424

UTILITY PLAN

119 BRONSON TRL
 POLK CITY, FLORIDA 33988

AGAP POLK CITY, LLC
 150 E. 69 STREET, SUITE 20202
 NEW YORK, NY 10022

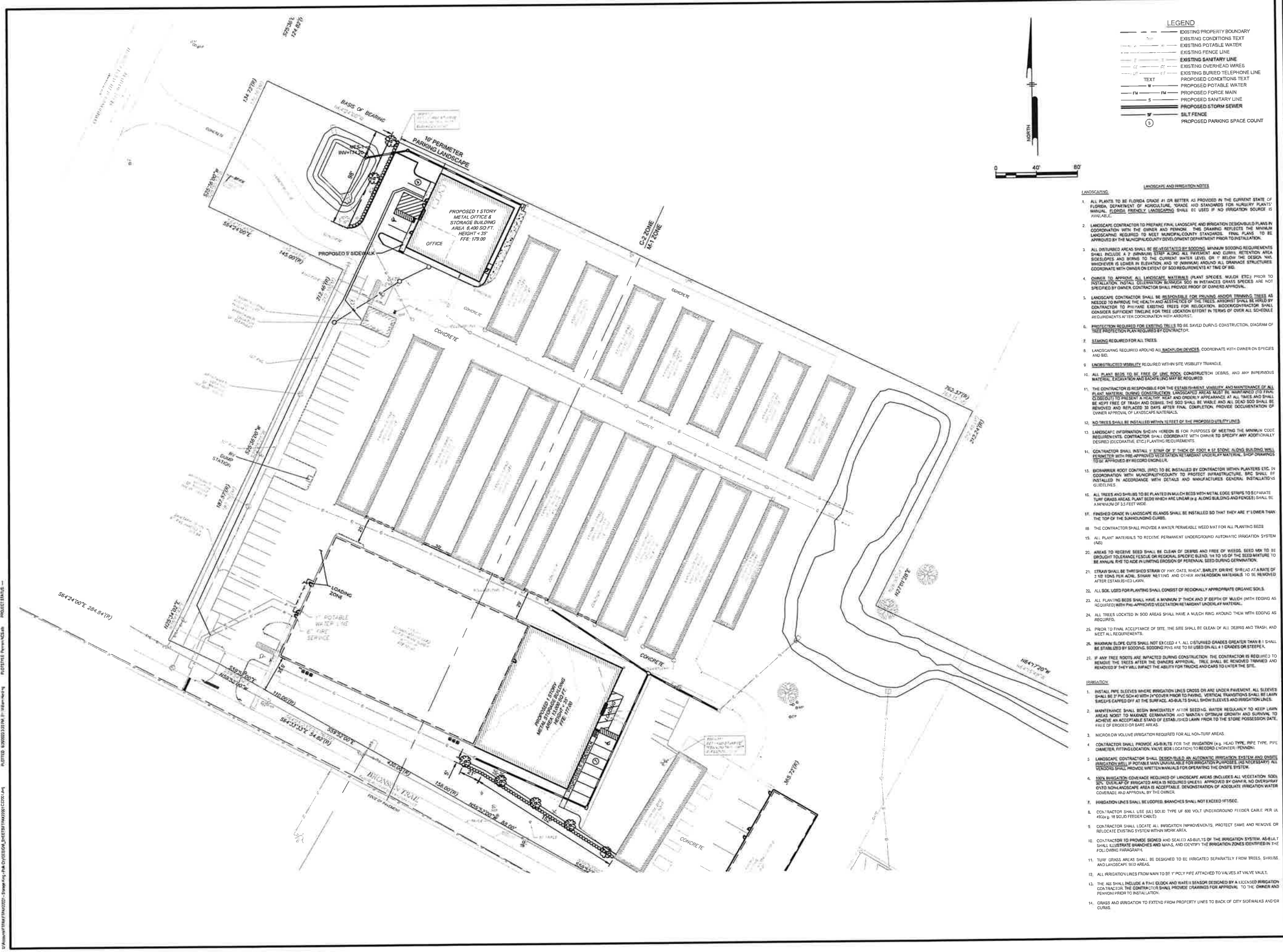
NO.	DATE	REVISIONS	BY
1	06/20/2023	2	WH
2	06/15/2023	1	WH

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PROJECT	FTPA22001
DATE	2022-08-05
DRAWING SCALE	1"=40'
DRAWN BY	MF
APPROVED BY	CWC

CS1701

PROJECT STATUS:
 PLOTTED: 08/20/2023 10:16 AM BY: E:\jason.sheridan
 P:\PROJECTS\FTPA22001 - Penpolk Proj - POLK CITY SEWER, WATER, GAS, CABLE, AND IRRIGATION\CS1701.dwg



LEGEND

---	EXISTING PROPERTY BOUNDARY
---	EXISTING CONDITIONS TEXT
---	EXISTING POTABLE WATER
---	EXISTING FENCE LINE
---	EXISTING SANITARY LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING BURIED TELEPHONE LINE
---	PROPOSED CONDITIONS TEXT
---	PROPOSED POTABLE WATER
---	PROPOSED SANITARY MAIN
---	PROPOSED SANITARY LINE
---	PROPOSED STORM SEWER
---	SILT FENCE
---	PROPOSED PARKING SPACE COUNT



- LANDSCAPING**
- ALL PLANTS TO BE FLORIDA GRADE #1 OR BETTER AS PROVIDED IN THE CURRENT STATE OF FLORIDA. DEPARTMENT OF AGRICULTURE, "GRADE AND STANDARDS FOR NURSERY PLANTS": MANUAL, FLORIDA FRIENDLY LANDSCAPING SHALL BE USED IF NO IRRIGATION SOURCE IS AVAILABLE.
 - LANDSCAPE CONTRACTOR TO PREPARE FINAL LANDSCAPE AND IRRIGATION DESIGN/CONSTRUCTION PLANS IN COORDINATION WITH THE OWNER AND PENNON. THIS DRAWING REFLECTS THE MINIMUM LANDSCAPING REQUIRED TO MEET MUNICIPAL/COUNTY STANDARDS. FINAL PLANS TO BE APPROVED BY THE MUNICIPAL/COUNTY DEVELOPMENT DEPARTMENT PRIOR TO INSTALLATION.
 - ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. EROSION CONTROL MEASURES SHALL INCLUDE A 2' (MINIMUM) STRIP ALONG ALL TALLENT AND CURBS, RETENTION AREA SLOPES AND BERMS TO THE CURRENT WATER LEVEL OR 1' BELOW THE DESIGN WTR. HOWEVER, 6' (MINIMUM) ELEVATION AND 12' (MINIMUM) WIDTH. ALL DRAINAGE STRUCTURES COORDINATE WITH OWNER ON EXTENT OF SOD REQUIREMENTS AT TIME OF BID.
 - OWNER TO APPROVE ALL LANDSCAPE MATERIALS (PLANT SPECIES, MULCH, ETC.) PRIOR TO INSTALLATION. FINAL ELEVATION BENEATH SOD IN INSTANCES GRASS SPECIES ARE NOT SPECIFIED BY OWNER. CONTRACTOR SHALL PROVIDE PROOF OF OWNERS APPROVAL.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PRUNING AND/OR TRIMMING TREES AS NEEDED TO IMPROVE THE HEALTH AND AESTHETICS OF THE TREES. AIRBORN SHALL BE HELD BY CONTRACTOR TO PREPARE LISTING TREES FOR RELOCATION. SOD CONTRACTOR SHALL CONSIDER SUFFICIENT TIMING FOR TREE LOCATION EFFORTS IN TERMS OF OWNER ALL SCHEDULE REQUIREMENTS AFTER COORDINATION WITH ARBORIST.
 - PROTECTION REQUIRED FOR EXISTING TREES TO BE SAVED DURING CONSTRUCTION. DIAGRAM OF TREE PROTECTION PLAN REQUIRED BY CONTRACTOR.
 - STAKING REQUIRED FOR ALL TREES.
 - LANDSCAPING REQUIRED AROUND ALL BACKLOG DEVICES. COORDINATE WITH OWNER ON SPECIES AND BID.
 - UNOBSTRUCTED VISIBILITY REQUIRED WITHIN SITE VISIBILITY TRIANGLE.
 - ALL PLANT BEDS TO BE FREE OF LIME SOD. CONSTRUCTION DEBRIS, AND ANY SUPERVISOR MATERIAL, EXCAVATION AND BACKFILLING MAY BE REQUIRED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE AND MAINTENANCE OF ALL PLANT MATERIAL. DURING CONSTRUCTION, LANDSCAPED AREAS MUST BE MAINTAINED TO PREVENT EROSION TO PRESENT A NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF TRASH AND DEBRIS. THE SOD SHALL BE MAINTAINED AND ALL DEAD SOD SHALL BE REMOVED AND REPLACED 30 DAYS AFTER FINAL COMPLETION. PROVIDE DOCUMENTATION OF OWNER APPROVAL OF LANDSCAPE MATERIALS.
 - NO TREES SHALL BE INSTALLED WITHIN 10 FEET OF THE PROPOSED UTILITY LINES.
 - LANDSCAPE INFORMATION SHOWN HEREIN IS FOR PURPOSES OF MEETING THE MINIMUM CODE REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH OWNER TO SPECIFY ANY ADDITIONALLY DESIRED (DECORATIVE, ETC.) PLANTING REQUIREMENTS.
 - CONTRACTOR SHALL INSTALL A STRIP OF 2" THICK OF 100# x 12' EIGHT' ALONG BUILDING WALL. ELEVATION WITH PRE-APPROVED ELEVATION. LATCHES TO BE INSTALLED. SOD CONTRACTOR TO BE APPROVED BY RECORD ENGINEER.
 - BIOBARRIER ROOT CONTROL (BRC) TO BE INSTALLED BY CONTRACTOR WITHIN PLANTERS ETC. IN COORDINATION WITH MUNICIPAL/COUNTY TO PROTECT INFRASTRUCTURE. BRC SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS AND MANUFACTURERS GENERAL INSTALLATION GUIDELINES.
 - ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH METAL EDGE STRIPS TO SEPARATE TURF GRASS AREAS. PLANT BEDS WHICH ARE LINEAR (e.g. ALONG BUILDING AND FENCES) SHALL BE A MINIMUM OF 31 FEET WIDE.
 - FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURBS.
 - THE CONTRACTOR SHALL PROVIDE A WATER PERMEABLE WEED MAT FOR ALL PLANTING BEDS.
 - ALL PLANT MATERIALS TO RECEIVE PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM (AIS).
 - AREAS TO RECEIVE SEED SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS. SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND 1/4 TO 1/2 OF THE SEED MIXTURE TO BE ANNUN. 1/4 TO 1/2 OF THE SEED MIXTURE TO BE ANNUN. 1/4 TO 1/2 OF THE SEED MIXTURE TO BE ANNUN.
 - STRAW SHALL BE THRESHED STRAIN OF 1/4" DATE. WHEAT, BARLEY OR RYE STRAW AT A RATE OF 2 TO 3 TONS PER ACRE. STRAW MULCHING AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
 - ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE ORGANIC SOILS.
 - ALL PLANTING BEDS SHALL HAVE A MINIMUM 2" THICK AND 2" DEPTH OF MULCH (WITH EDGING AS REQUIRED) WITH PRE-APPROVED VEGETATION RETARDANT UNDERLAY MATERIAL.
 - ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING AS REQUIRED.
 - PRIOR TO FINAL ACCEPTANCE OF SITE, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH, AND MEET ALL REQUIREMENTS.
 - MAXIMUM SLOPE CUTS SHALL NOT EXCEED 4:1. ALL DISTURBED GRADERS GREATER THAN 4:1 SHALL BE STABILIZED BY EROSION CONTROL MATS. SOD CONTRACTOR SHALL BE USED ON ALL 4:1 GRADERS OR STEEPER.
 - IF ANY TREE ROOTS ARE IMPACTED DURING CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO REMOVE THE TREES AFTER THE OWNERS APPROVAL. TREES SHALL BE REMOVED IMMEDIATELY AND REMOVED IF THEY WILL IMPACT THE ABILITY FOR TRUCKS AND CARS TO ENTER THE SITE.
- IRRIGATION**
- INSTALL PIPE SLEEVES WHERE IRRIGATION LINES CROSS OVER ANY UNDERPAVEMENT. ALL SLEEVES SHALL BE 3" PVC SCHEDULE 40 WITH 2" COVER PRIOR TO PAVING. VERTICAL TRANSITIONS SHALL BE LAWN SLOPE'S CAPPED OFF AT THE SURFACE. AS-BUILTS SHALL SHOW SLEEVES AND IRRIGATION LINES.
 - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAXIMIZE OPTIMUM GROWTH AND SURVIVAL. TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE. FREE OF ERODED OR BARE AREAS.
 - MICRO-OW VOLUME IRRIGATION REQUIRED FOR ALL NON-TURF AREAS.
 - CONTRACTOR SHALL PROVIDE AS-BUILTS FOR THE IRRIGATION (e.g. HEAD TYPE, PIPE TYPE, PIPE DIAMETER, FITTING LOCATION, VALVE BOX LOCATION) TO RECORD ENGINEER/PENNON.
 - LANDSCAPE CONTRACTOR SHALL DESIGN, BUILD AN AUTOMATIC IRRIGATION SYSTEM AND OHSITE IRRIGATION SHALL BE PORTABLE MAIN OPERABLE FOR IRRIGATION PURPOSES. AS NECESSARY ALL TESTING SHALL PROVIDE WRITTEN MANUALS FOR OPERATING THE OHSITE SYSTEM.
 - FINAL IRRIGATION COVERAGE REQUIRED OF LANDSCAPE AREAS INCLUDES ALL VEGETATION. SOD, SOIL, OVERLAP OF IRRIGATED AREA IS REQUIRED UNLESS APPROVED BY OWNER. NO OVERLAP OR UNLAWFUL IRRIGATION AREAS IS ACCEPTABLE. DEMONSTRATION OF ADEQUATE IRRIGATION WATER COVERAGE AND APPROVAL BY THE OWNER.
 - IRRIGATION LINES SHALL BE DIPPED. BRANCHES SHALL NOT EXCEED 1/2" SEC.
 - CONTRACTOR SHALL USE (SLS) SOLID TYPE UF 800 VOLT UNDERGROUND FEEDER CABLE PER ILL. 450.0 b. 18 SOLID FEEDER CABLES.
 - CONTRACTOR SHALL LOCATE ALL IRRIGATION IMPROVEMENTS, PROTECT SAME AND REMOVE OR RELOCATE EXISTING SYSTEM WITHIN WORK AREA.
 - CONTRACTOR TO PROVIDE SIGNED AND SEALED AS-BUILTS OF THE IRRIGATION SYSTEM. AS-BUILT SHALL ILLUSTRATE BRANCHES AND MAINS, AND IDENTIFY THE IRRIGATION ZONES IDENTIFIED IN THE FOLLOWING PARAGRAPHS.
 - TURF GRASS AREAS SHALL BE DESIGNED TO BE IRRIGATED SEPARATELY FROM TREES, SHRUBS AND LANDSCAPE BED AREAS.
 - ALL IRRIGATION LINES FROM MAIN TO BE 1" POLY PIPE ATTACHED TO VALVES AT VALVE VAULT.
 - THE AIS SHALL INCLUDE A 1/2" BLOCK AND WATER SENSOR DESIGNED BY A LICENSED IRRIGATION CONTRACTOR. THE CONTRACTOR SHALL PROVIDE DRAWINGS FOR APPROVAL TO THE OWNER AND PENNON PRIOR TO INSTALLATION.
 - GRASS AND IRRIGATION TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND OR CURBS.



PENNONI ASSOCIATES INC.
401 Third Street SW
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COA #00007819



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STORAGE KING - POLK CITY
118 BRONSON TRL
POLK CITY, FLORIDA 33868

LANDSCAPE PLAN

AGAP POLK CITY, LLC
150 E. 52 STREET, SUITE 3002
NEW YORK, NY 10022

NO.	DATE	REVISIONS	BY

PROJECT: FTPIX22001

DATE: 2022-08-05

DRAWING SCALE: 1"=40'

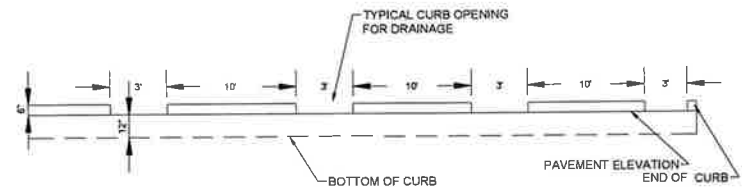
DRAWN BY: MF

APPROVED BY: CWC

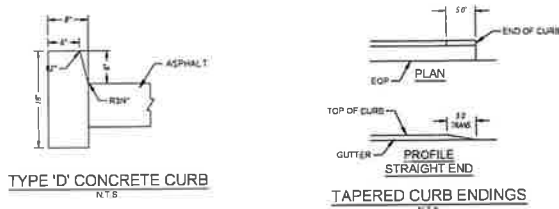
CS2001

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PROJECT: FTPIX22001 - Storage King - Polk City, FL
 DRAWING: LANDSCAPE PLAN
 DATE: 08/05/2022
 DRAWN BY: MF
 CHECKED BY: CWC
 APPROVED BY: CWC



SPECIAL TYPE D CURB DETAIL
N.T.S.

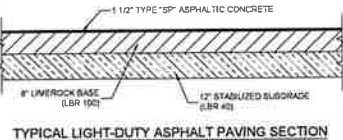


TYPE 'D' CONCRETE CURB
N.T.S.

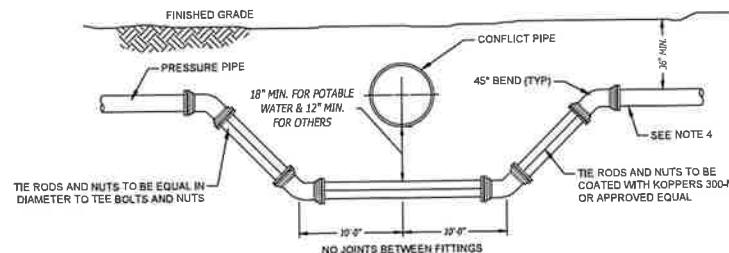
TAPERED CURB ENDINGS
N.T.S.

LIGHT DUTY - PARKING AREAS PAVEMENT CONSTRUCTION TABLE			
LAYER COEFFICIENT CALCULATIONS			
LAYER	LAYER COEFFICIENT	THICKNESS (INCHES)	PRODUCT
TYPE 'B' STABILIZED SUBGRADE (8 IN. @ 90% MODIFIED PROCTOR)	0.08	62	0.08
UNDERLAY (8 IN. @ 90% UNMODIFIED PROCTOR)	0.10	8	1.44
TYPE 'B' ASPHALT	0.44	1.50	0.66
TOTAL			0.66

NOTES:
1. REFER TO INDEX 900 & 905 OF FDOT DESIGN STANDARDS REGARDING REMOVAL OF UNSATURABLE SOILS & BACKFILL REQUIREMENTS.
2. REFER TO INDEX 110 & 125 OF FDOT SAMC REGARDING CLEARING AND GRUBBING.
3. REFER TO FDOT SBSC DESIGN STANDARD INDEX AND A-11 RE OVERALL SITE PREPARATION AND EARTH WORK REQUIREMENTS.



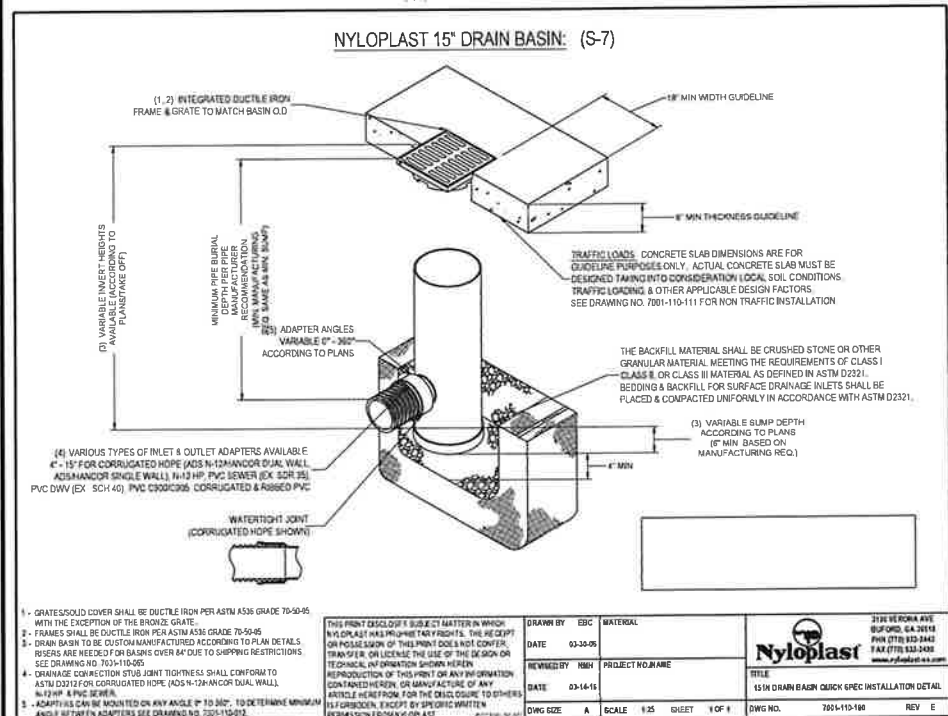
TYPICAL LIGHT-DUTY ASPHALT PAVING SECTION
N.T.S.



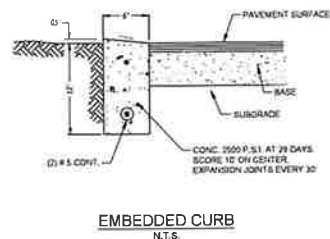
NOTES:

- IN INSTANCES THAT THE WATER MAIN (ABOVE STORM & STORM & SANITARY) WILL NOT HAVE 3FT OF COVER AND 18" OF VERTICAL SEPARATION TO STORM/SANITARY SEWER (BELOW) INSTALL POTABLE LINE BELOW THE STORM/SANITARY SEWER.
- BOTH OF THE FOLLOWING FORMS OF RESTRAINT SHALL BE USED FROM FITTING TO FITTING.
A) APPROVED MECHANICAL JOINT RESTRAINT. (i.e. MEGA-LUG, TEE RODS)
- DO NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION.
- PIPE SHALL BE RESTRAINED FOR A MINIMUM DISTANCE OF 60' (SIXTY) FROM EACH TOP 45° DEFLECTION FOR 12" DIAMETER PIPE AND SMALLER. FOR 14" THRU 30" DIAMETER PIPE IT SHALL BE RESTRAINED FOR A MINIMUM DISTANCE OF 80' IN EACH DIRECTION.

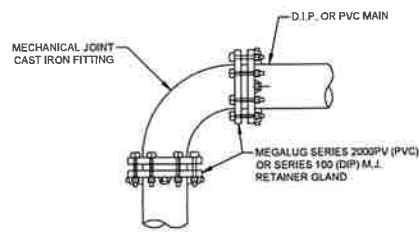
PRESSURE PIPE DEFLECTION DETAIL
N.T.S.



NO.	DESCRIPTION	DATE	BY	SCALE	SHEET	OF	REV.
1	GRATES/COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-40-15 WITH THE EXCEPTION OF THE BRONZE GRATE.	03-14-15	EBK	A	125	1	E
2	FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-40-15.	03-14-15	EBK	A	125	1	E
3	DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE REQUIRED ON BASINS OVER 84\"/>						



EMBEDDED CURB
N.T.S.



NOTE: USE MEGALUG SERIES 1100 HV HARNESS RESTRAINT FOR IN-LINE PVC PUSH-ON JOINTS

THRUST RESTRAINT. ALL VALVES AND FITTINGS SHALL BE RESTRAINED AGAINST THRUST FROM 150 PSI TEST PRESSURE BY USING FLANGED OR 'MEGALUG' TYPE CONNECTORS. ALL PIPE JOINTS LYING WITHIN THE LISTED MINIMUM DISTANCE OF ANY FITTING OR VALVE SHALL ALSO BE RESTRAINED. WHEN CASINGS FALL WITHIN THE MINIMUM DISTANCE FROM A FITTING, RESTRAIN ALL JOINTS INSIDE THE CASING IN ADDITION TO THE REQUIRED MINIMUM LENGTH OF BURIED PIPE.

SEE RESTRAINT TABLE FOR DESCRIPTION OF THE MINIMUM LENGTH OF PIPE THAT SHALL BE CONTINUOUSLY RESTRAINED ON BOTH SIDES OF DIFFERENT TYPES AND SIZES OF FITTINGS.

RECLAIMED, POTABLE WATER & FORCE MAIN PIPING RESTRAINT TABLE

TYPE FITTINGS	D.I.P. PIPE SIZE				
	4" OR LESS	6"	8"	10"	12"
TEE BRANCH/RUN	33'	49'	71'	92'	113'
90° ELL	25'	35'	45'	54'	64'
45° ELL	10'	14'	19'	22'	26'
22 1/2° ELL	5'	7'	9'	11'	13'
11.25° ELL	2'	3'	3'	4'	5'
DEAD END	35'	49'	64'	77'	90'

TYPE FITTINGS	PVC PIPE SIZE				
	4" OR LESS	6"	8"	10"	12"
TEE BRANCH/RUN	50'	71'	96'	119'	142'
90° ELL	33'	46'	61'	73'	86'
45° ELL	14'	19'	25'	30'	36'
22 1/2° ELL	7'	9'	12'	15'	17'
11.25° ELL	2'	3'	3'	5'	6'
DEAD END	55'	77'	101'	121'	143'

- DEAD END VALVES FOR FUTURE EXPANSION WILL BE RESTRAINED BACK TO THE FITTING.
 - ENGINEER TO SPECIFY RESTRAINT FOR REDUCERS AND/OR VERTICAL OFFSETS.
 - RESTRAIN THE RUN LEGS OF ALL TEES AT THE FITTING. RESTRAIN BRANCH AS SHOWN.
- THE FOLLOWING CONDITIONS ARE ASSUMED: SOIL = SANDY AND/OR SILTY, 3 FEET MIN. OF COVER WITH NATIVE SOIL, 150 P.S.I. TEST PRESSURE SAFETY FACTOR = 2, IF OTHER CONDITIONS APPLY, CONTACT ENGINEER.

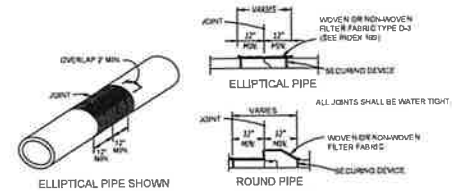
RESTRAINED PIPE JOINT DETAIL
N.T.S.

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft minimum	Water Main 12 inches is the minimum except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Water Main Alternate 3 ft minimum
Vacuum Sanitary Sewer	Water Main 10 ft, preferred 3 ft minimum (3)	Water Main 12 inches is preferred 6 inches is the minimum	Water Main Alternate 3 ft minimum
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft, preferred 6 ft minimum (3)	Water Main 12 inches is the minimum except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Water Main Alternate 6 ft minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum		

- Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
- Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
- 3 ft. for gravity sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
- Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

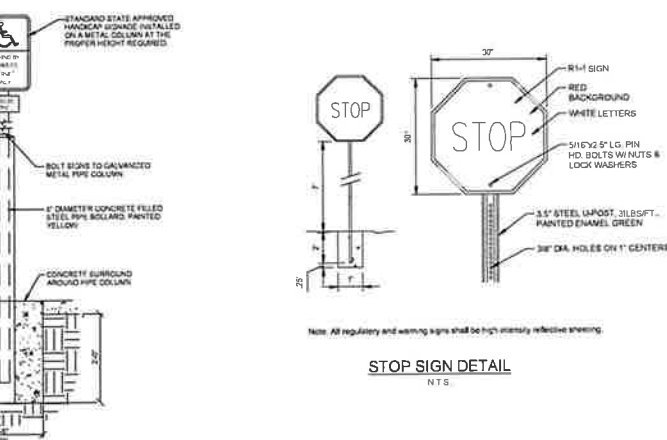
This document is provided for your convenience only. Please refer to F.A.C. Rule 62-555.314 for additional construction requirements.



ELLIPTICAL PIPE SHOWN ISOMETRIC VIEW
N.T.S.

ROUND PIPE SHOWN ISOMETRIC VIEW
N.T.S.

FILTER FABRIC JACKET
N.T.S.



STOP SIGN DETAIL
N.T.S.

BOLLARD W/ HANDICAP SIGN DETAIL
N.T.S.

PENNONI ASSOCIATES INC.
401 Third Street SW
Winter Haven, FL 33880
T 863.324.1112 F 863.294.6165
COA #00007819

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MICHAEL JASON SHERIDAN, P.E., EOR
FL. P.E. LIC. NO. 88424

STORAGE KING - POLK CITY
119 BRONSON TRL
POLK CITY, FLORIDA 33988

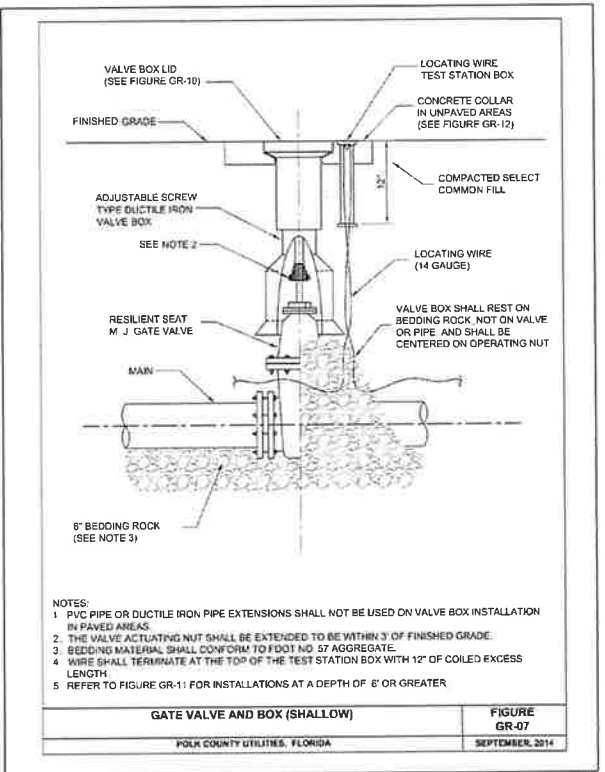
SITE DETAILS

AGAP POLK CITY, LLC
150 E. 52 STREET, SUITE 32002
NEW YORK, NY 10022

NO.	DATE	BY	REVISIONS
1	05/24/2023	CWC	ADDED SPECIAL CURB DETAIL

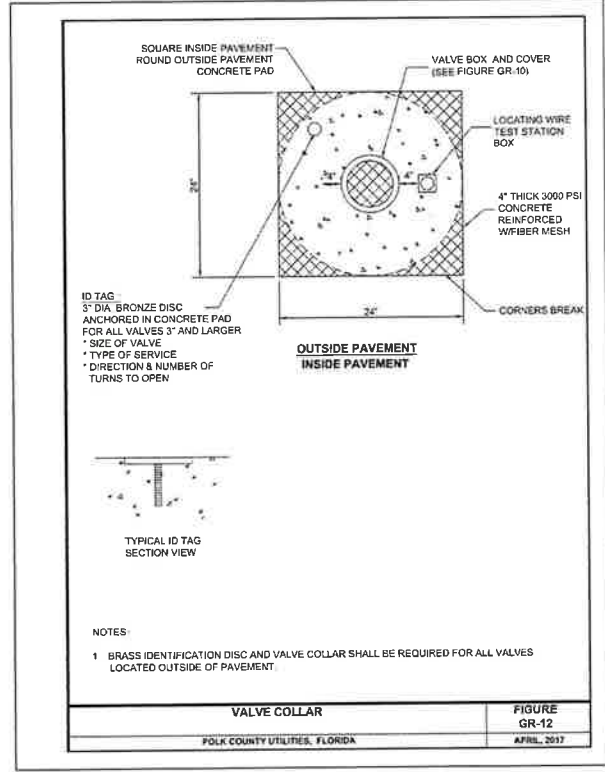
PROJECT: FTPAX22001
DATE: 2022-09-05
DRAWING SCALE: 1"=40'
DRAWN BY: MF
APPROVED BY: CWC

CS6001



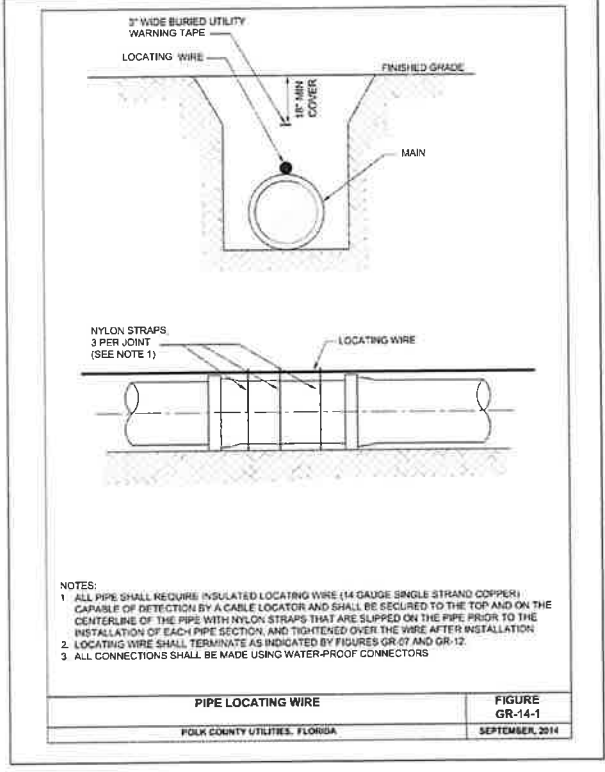
- NOTES:
- PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION IN PAVED AREAS.
 - THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3\"/>

GATE VALVE AND BOX (SHALLOW) **FIGURE GR-07**
 POLK COUNTY UTILITIES, FLORIDA **SEPTEMBER, 2014**



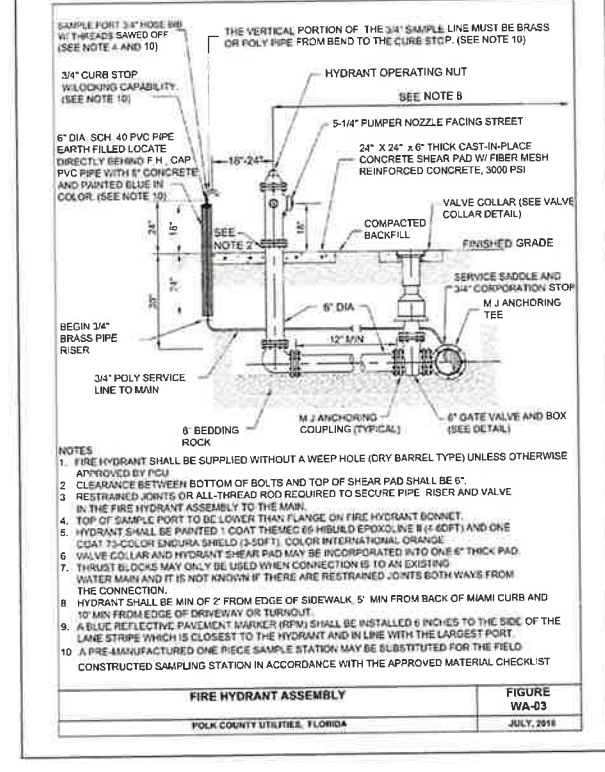
- NOTES:
- BRASS IDENTIFICATION DISC AND VALVE COLLAR SHALL BE REQUIRED FOR ALL VALVES LOCATED OUTSIDE OF PAVEMENT.

VALVE COLLAR **FIGURE GR-12**
 POLK COUNTY UTILITIES, FLORIDA **APRIL, 2017**



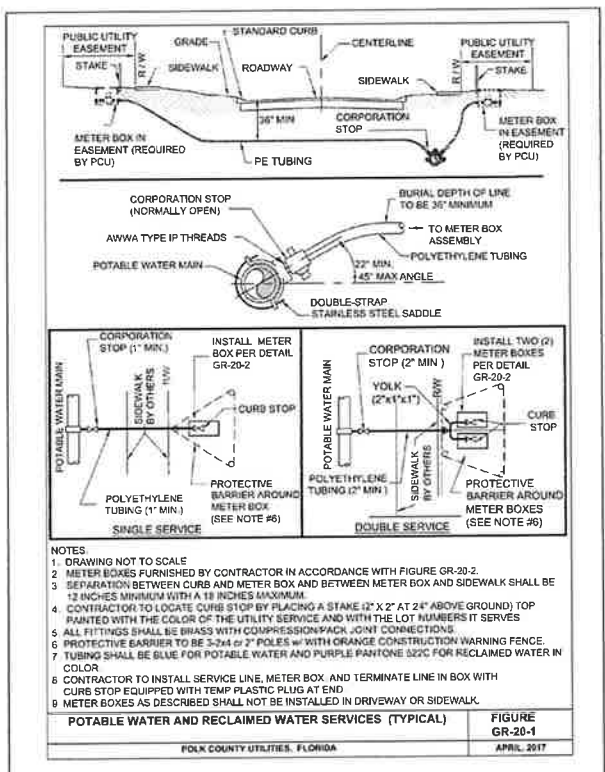
- NOTES:
- ALL PIPE SHALL REQUIRE INSULATED LOCATING WIRE (14 GAUGE SINGLE STRAND COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE SECURED TO THE TOP AND ON THE CENTERLINE OF THE PIPE WITH NYLON STRAPS THAT ARE SLIPPED ON THE PIPE PRIOR TO THE INSTALLATION OF EACH PIPE SECTION, AND TIGHTENED OVER THE WIRE AFTER INSTALLATION.
 - LOCATING WIRE SHALL TERMINATE AS INDICATED BY FIGURES GR-07 AND GR-12.
 - ALL CONNECTIONS SHALL BE MADE USING WATER-PROOF CONNECTORS.

PIPE LOCATING WIRE **FIGURE GR-14-1**
 POLK COUNTY UTILITIES, FLORIDA **SEPTEMBER, 2014**



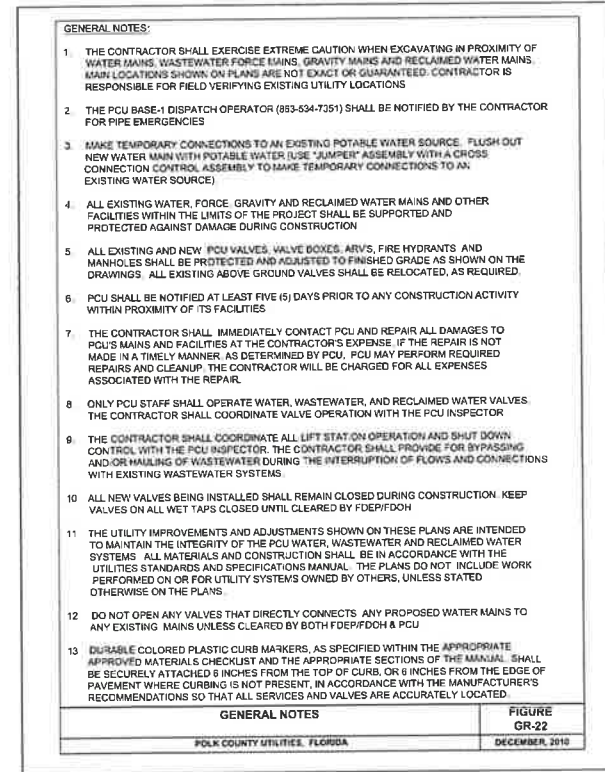
- NOTES:
- FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE (DRY BARREL TYPE) UNLESS OTHERWISE APPROVED BY PCU.
 - CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE 6\"/>

FIRE HYDRANT ASSEMBLY **FIGURE WA-03**
 POLK COUNTY UTILITIES, FLORIDA **JULY, 2018**

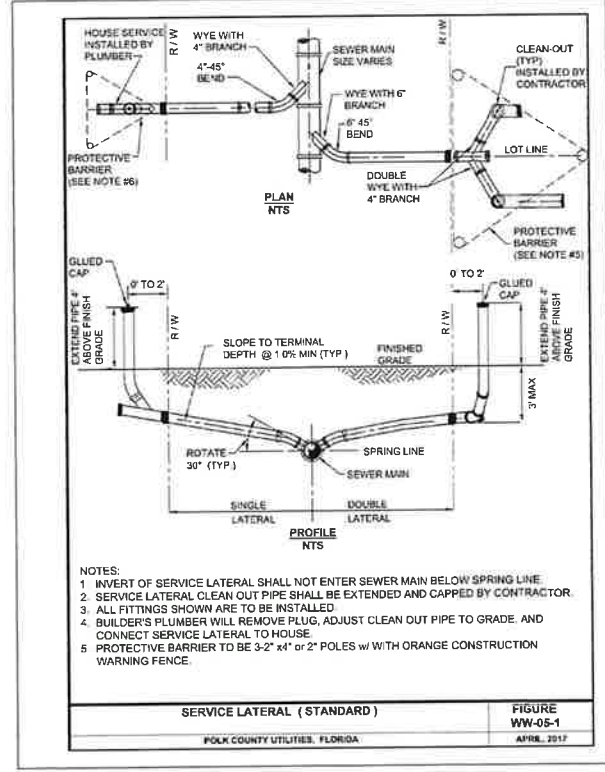


- NOTES:
- DRAWING NOT TO SCALE.
 - METER BOXES FURNISHED BY CONTRACTOR IN ACCORDANCE WITH FIGURE GR-20-2.
 - SEPARATION BETWEEN CURB AND METER BOX AND BETWEEN METER BOX AND SIDEWALK SHALL BE 12 INCHES MINIMUM WITH A 18 INCHES MAXIMUM.
 - CONTRACTOR TO LOCATE CURB STOP BY PLACING A STAKE (2\"/>

POTABLE WATER AND RECLAIMED WATER SERVICES (TYPICAL) **FIGURE GR-20-1**
 POLK COUNTY UTILITIES, FLORIDA **APRIL, 2017**

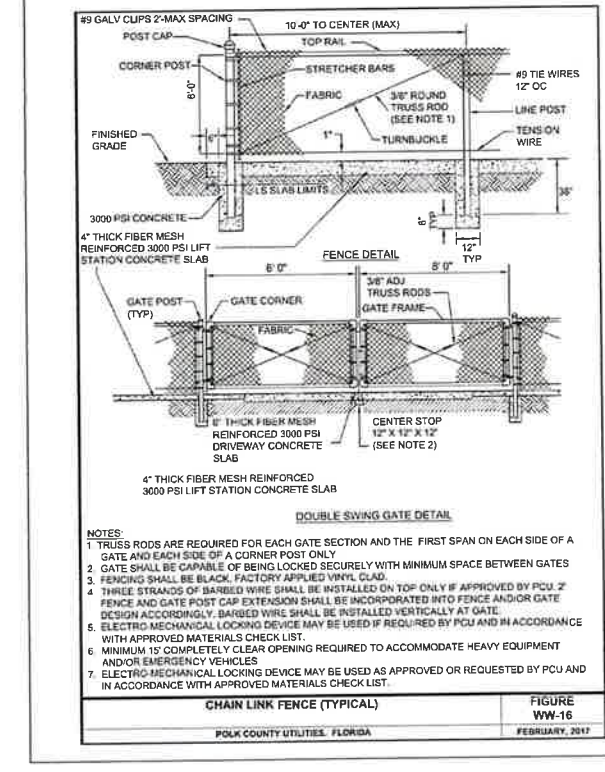


GENERAL NOTES **FIGURE GR-22**
 POLK COUNTY UTILITIES, FLORIDA **DECEMBER, 2010**



- NOTES:
- INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - SERVICE LATERAL CLEAN OUT PIPE SHALL BE EXTENDED AND CAPPED BY CONTRACTOR.
 - ALL FITTINGS SHOWN ARE TO BE INSTALLED.
 - BUILDER'S PLUMBER WILL REMOVE PLUG, ADJUST CLEAN OUT PIPE TO GRADE, AND CONNECT SERVICE LATERAL TO HOUSE.
 - PROTECTIVE BARRIER TO BE 3-2\"/>

SERVICE LATERAL (STANDARD) **FIGURE WW-05-1**
 POLK COUNTY UTILITIES, FLORIDA **APRIL, 2017**



- NOTES:
- TRUSS RODS ARE REQUIRED FOR EACH GATE SECTION AND THE FIRST SPAN ON EACH SIDE OF A GATE AND EACH SIDE OF A CORNER POST ONLY.
 - GATES SHALL BE CAPABLE OF BEING LOCKED SECURELY WITH MINIMUM SPACE BETWEEN GATES.
 - FENCING SHALL BE BLACK, FACTORY APPLIED VINYL CLAD.
 - THREE STRANDS OF BARBED WIRE SHALL BE INSTALLED ON TOP ONLY IF APPROVED BY PCU. 2\"/>

CHAIN LINK FENCE (TYPICAL) **FIGURE WW-16**
 POLK COUNTY UTILITIES, FLORIDA **FEBRUARY, 2017**

PENNONI ASSOCIATES, INC.
 401 Third Street SW
 Winter Haven, FL 33980
 T 863.324.1112 F 863.294.6185
 COA #00007819

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ALL DIMENSIONS MUST BE NOTIFIED BY CONTRACTOR AND OWNER MUST BE VERIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

STORAGE KING - POLK CITY
 119 BRONSON TRL
 POLK CITY, FLORIDA 32888
 SITE DETAILS
 AGAP POLK CITY, LLC
 150 E. 52 STREET, SUITE 32002
 NEW YORK, NY 10022

NO.	DATE	REVISIONS	BY

PROJECT: **FTPA22001**
 DATE: **3/03/2023**
 DRAWING SCALE: **1"=40'**
 DRAWN BY: **MF**
 APPROVED BY: **CWS**

CS6003

